

Historic Landmark Commission Agenda

Council Chambers
1311 Chestnut Street
Bastrop, TX 78602



July 21, 2021 at 6:00 P.M.

Historic Landmark Commission meetings are available to all persons regardless of disability. If you require special assistance, please contact the Commission Secretary at (512) 332-8840, or write to 1311 Chestnut Street, Bastrop, TX 78602, or call Relay Texas through a T.D.D. (Telecommunication Device for the Deaf) at 1-800-735-2989 at least 48 hours in advance of the meeting.

1. CALL TO ORDER

2. CITIZEN COMMENTS

At this time, three (3) minute comments will be taken from the audience on any topic. To address the Commission, please submit a fully completed request card to the Commission Secretary prior to the meeting. In accordance with the Texas Open Meetings Act, if a citizen discusses any item not on the agenda, the Commission cannot discuss issues raised or make any decision at this time. Issues may be referred to City Staff for research and possible future action.

To address the Commission concerning any item on the agenda, please submit a fully completed request card to the Commission Secretary prior to the meeting.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

3A. Consider action to approve meeting minutes from the June 16, 2021 Historic Landmark Commission Regular Meeting.

3B. Consider action to approve a Certificate of Appropriateness for 0.56 acres of Farm Lot 3, east of Main Street, located at 1607 Main Street, to remove the portico columns, rebuild the existing front porch, and add a wraparound porch on the first floor on the south side of the structure, for a Structure designated as locally Significant and on the National Register of Historic Places as the J.T.Crysup House.

3C. Consider action to approve a Certificate of Appropriateness for 0.30 acres of Building Block 27, East of Water Street, located at 1008 Walnut Street, to add a 485 square foot addition to the rear of the house along Hill Street for a Site with a Texas State Historic Marker for Thomas H. Mays.

4. UPDATES

- 4A. Individual Requests from Historic Landmark Commissioners that particular items to be listed on future agendas (no group discussion allowed).

5. ADJOURNMENT

I, the undersigned authority, do hereby certify that this Notice of Meeting is posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of Bastrop City Hall, a place of convenience that is readily accessible to the public, as well as to the City's website, www.cityofbastrop.org. Said Notice was posted on the following date and time: Friday, July 16, 2021 at 8:50 p.m. and will remain posted for at least two hours after said meeting has convened.



Jennifer C. Bills, Assistant Planning Director



STAFF REPORT

MEETING DATE: July 21, 2021

AGENDA ITEM: 3A

TITLE:

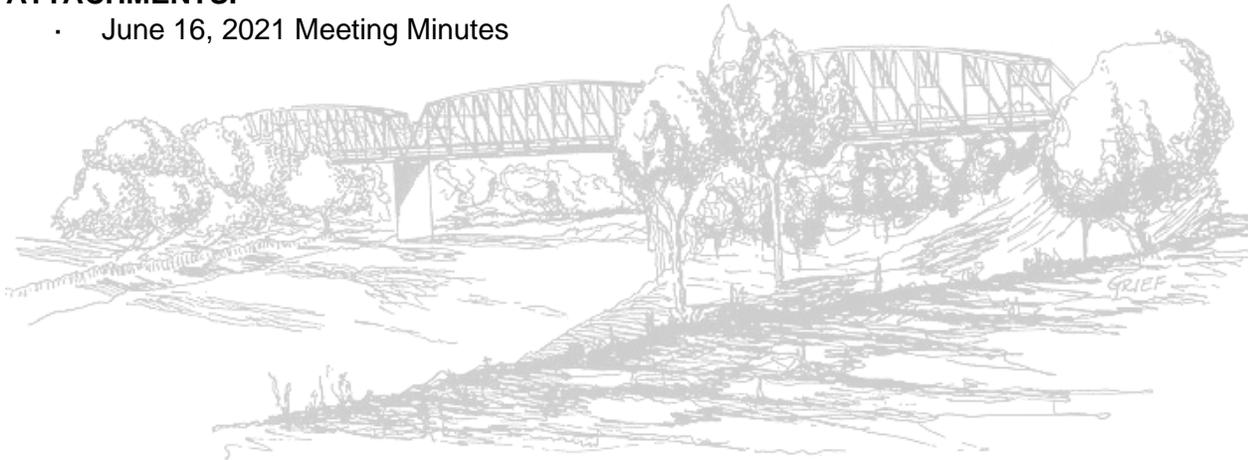
Consider action to approve meeting minutes from the June 16, 2021 Historic Landmark Commission Regular Meeting.

STAFF REPRESENTATIVE:

Debra Adams, Commission Secretary/Permit Technician

ATTACHMENTS:

- June 16, 2021 Meeting Minutes



HISTORIC LANDMARK COMMISSION MEETING

Meeting Minutes

The City of Bastrop Historic Landmark Commission met Wednesday, June 16 at 6:00 p.m. in the Bastrop City Council Chambers, 1311 Chestnut Street, Bastrop, Texas.

1. CALL TO ORDER

The Chair called the meeting to order at 6:00 PM

Commissioners:

Blake Kaiser, Chair	Present
Christine Cartwright	Present
Pablo Serna, Vice-Chair	Present
Susan Long	Present
Matt Lassen	Absent
Janean Whitten	Present
Cheryl Long	Present

City Council Liaison:

Staff:

Jennifer Bills	Present
Debra Adams	Present
Shirley Ellis	Present

2. CITIZEN COMMENTS

There were no citizen comments.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

3A. Consider action to approve meeting minutes from the May 19, 2021 Historic Landmark Commission Regular Meeting.

Pablo Serena made a motion to approve the meeting minutes from the May 19, 2021, Historic Landmark Commission. Christine Cartwright seconded the motion, and the motion carried unanimously.

3B. Public Hearing and consider action to approve a Certificate of Appropriateness for re-location to move a residential structure from 1204 Water Street to 602 Martin Luther King Jr. Street (Building Block 56, East of Main, 0.36 acres), within the Iredell Historic District.

Jennifer Bills presented the item to the Commission. Photos and Plans were provided for context.

HISTORIC LANDMARK COMMISSION MEETING

Meeting Minutes

Discussion commenced between Staff and the Commission regarding the placement of the house. Question regarding location of the carport and Shirley confirmed to be set 5' from back and side.

No citizen comments were made.

Pablo Serna made a motion to approve Certificate of Appropriateness for re-location to move a residential structure from 1204 Water Street to 602 Martin Luther King Jr. Street (Building Block 56, East of Main, 0.36 acres), within the Iredell Historic. Cheryl Long seconded the motion, and the motion carried unanimously.

4. UPDATES

4A. Individual Requests from Historic Landmark Commissioners that items to be listed on future agendas (no group discussion allowed).

Jennifer presented to HLC that she will be presenting a brief rundown on what Planning Department is working on to the next Planning & Zoning Meeting. She will bring this to the next HLC meeting.

Jennifer presented to HLC that her next project is Historical Rebates. Her and Shirley will be going out to do to the yearly maintenance inspections. About 90 properties that need to be done. Will be starting that process and getting the letters out.

Blake presented question to Jennifer regarding Building Codes in the new Colony, not the city. Per Jennifer the state has adopted the minimum 2015 International Building Codes. County has adopted the most current code which is the same as the City of Bastrop, 2018 International Codes. The county has no one to enforce them.

No more requests were made, and no action taken.

5. ADJOURNMENT

Susan Long made a motion to adjourn, Pablo Serna seconded. Meeting adjourned by Chair at 6:23 pm.

Commission Chair

Commission Vice-Chair



STAFF REPORT

MEETING DATE: July 21, 2021

AGENDA ITEM: 3B

TITLE:

Consider action to approve a Certificate of Appropriateness for 0.56 acres of Farm Lot 3, east of Main Street, located at 1607 Main Street, to remove the portico columns, rebuild the existing front porch, and add a wraparound porch on the first floor on the south side of the structure, for a Structure designated as locally Significant and on the National Register of Historic Places as the J.T.Crysup House.

STAFF REPRESENTATIVE:

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director/Historic Preservation Officer

ITEM DETAILS:

Site Address: 1607 Main Street (Attachment 1)
Property Owner: Joseph Emmert
Applicant: Chase McDonald/CM Contracting LLC
Current Use: Residential
Existing Zoning: P-3 Neighborhood
Designations: Bastrop Register of Historic Places District

BACKGROUND/HISTORY:

The property owner at 1607 Main Street is proposing to remove the existing supports for the portico, rebuild the first story porch by raising the floor to the door threshold, extending steps further out from the house, and adding a wraparound porch with a pergola framed with heavy timber beams (Attachment 2).

The existing house was built circa 1918. It is a two-story house, with double hipped roof, an asymmetric front facade with a projected portico and gallery on the west. The house is a Prairie School Style home, with wide one over one windows and a distinctive horizontal ribbon of wider horizontal siding at the base of the first and second stories (Attachment 4). The house has retained many of the original elements of the house.



EXISTING VIEW AT FRONT (WEST)

On the existing entry, the applicant is proposing to remove the columns for the portico, enclose part of the railing of the second story gallery, replace the existing classical style columns with double tapered columns, add additional steps from the porch to the walkway with brick wingwalls/planters on either side on the steps.

The applicant is also requesting to extend the front porch to the south and wrap around the front façade, with a heavy timber pergola (Attachment 3).



FRONT (WEST) VIEW

In general, the changes and addition to the front porch are compatible with the Prairie School Style and the architectural styles along Main Street.

Staff recommends the following changes to the design:

- The existing classical style columns seem to be a later addition however the new columns should be less tapered, a little less heavy, and include some inset design, similar to the design of the columns on the rear of the house.
- Upper story gallery should not be enclosed and remain with the open rail design.
- Wingwalls should be narrower and made out of wood. Brick is not an appropriate material for this style.

Otherwise, the style of the addition is compatible and continues the distinctive features of the house with front porch and the distinctive banded patterned siding.



POLICY EXPLANATION:

When a Certificate of Appropriateness is required, no work can begin before the Historic Preservation Officer, or the Commission has first issued a Certificate of Appropriateness. The Certificate of Appropriateness shall be in addition to and not in lieu of any permits required (i.e. building, sign, alcohol, etc.). The Building Official cannot approve any application for a sign or building permit to a structure and/or site that requires but does not have a Certificate of Appropriateness.

Section 9.3.006 Criteria of Approval of a Certificate of Appropriateness (COA)

- (1) In considering an application for a Certificate of Appropriateness, the commission shall be guided by any locally adopted design standards, and where applicable, the following from the *Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings*. Any adopted design standards and *Secretary of the Interior's Standards* shall be made to the property owners of historic landmarks.

Applicable criteria

- (A) **Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.**
- (I) **Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, color, material, and character of the property, neighborhood, or environment.**
- (J) **Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.**

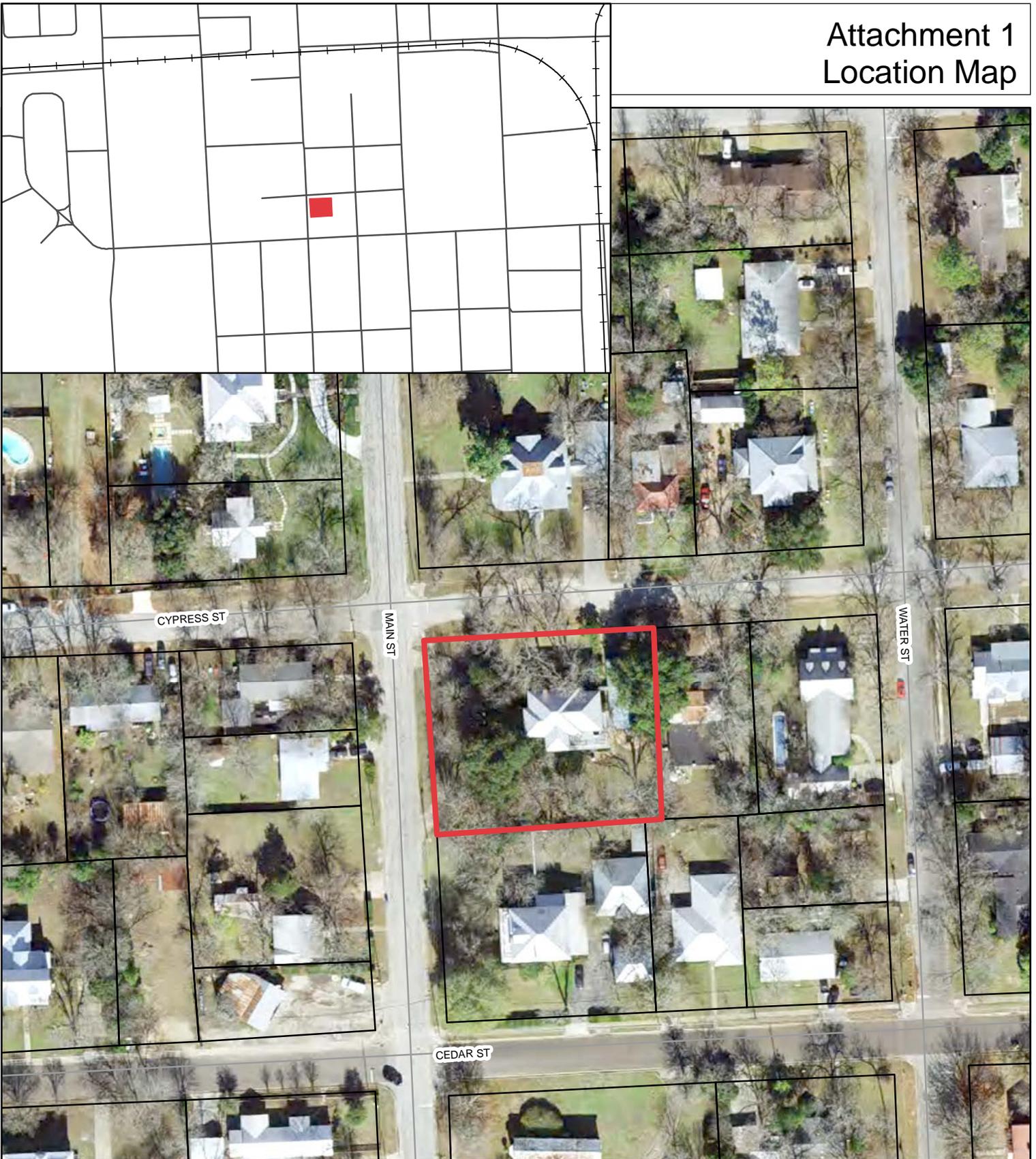
RECOMMENDATION:

Consider action to approve a Certificate of Appropriateness for 0.56 acres of Farm Lot 3, east of Main Street, located at 1607 Main Street, to remove the portico, rebuild the existing front porch and add a wraparound porch on the first floor on the south side of the structure, for a Structure designated as locally Significant and on the National Register of Historic Places as the J.T.Crysup House.

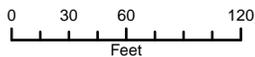
ATTACHMENTS:

- Attachment 1 – Location Map
- Attachment 2 – Project Description
- Attachment 3 – Application Packet
- Attachment 4 - National Register of Historic Places Designation

Attachment 1 Location Map



Certificate of Appropriateness 1607 Main Street Modification/Addition to Porch



1 inch = 100 feet

Date: 7/16/2021

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of any such information, nor does it represent that its use would not infringe upon privately owned rights.





Chase McDonald
1201 Pecan St
Bastrop Tx 78602
EIN- 85-1098868

Customer: Joseph Emmert
1607 Main St
Bastrop TX 78602

Project Description

Remove the existing front entry by demoing the concrete steps, concrete front porch, decorative and structural round columns, and existing landscaping. Build a new front entry based on the architectural drawings provided by the homeowner. The new front entry will have concrete steps with a brick façade, wood porch that wraps around the South side of the house, custom pergola, new structural columns, rebuilt upper deck, new siding, and repairs to the original siding. All materials used will match the existing Historic materials. All new construction will meet the required standards designed by the Architect and Engineer. All work will meet current code as well.

Paint the house a color(s) chosen by the homeowner.



LEGAL DESCRIPTION

1607 MAIN STREET, BASTROP TEXAS : 0.54 ACRES OF LAND WITHIN THE CITY OF BASTROP OUT OF THE T.T. BASTROP SURVEY, ABSTRACT 11, COUNTY OF BASTROP, TEXAS AND BEING A PART OF THE FARM LOT 3 AS SHOWN IN THE PLAT OF RECORD IN CABINET 1, PAGE 23A OF THE PLAT RECORDS OF BASTROP COUNTY, TEXAS.

PROJECT DESCRIPTION

PROJECT LOCATION: 1607 MAIN STREET, BASTROP TEXAS
 PROJECT SCOPE: THE REPLACEMENT OF EXISTING FRONT PORCH COLUMNS WITH ARCHITECTURALLY CORRECT CRAFTSMAN STYLE COLUMNS, THE REMOVAL OF EXISTING 202 SQUARE FOOT COVERED FRONT CONCRETE PORCH AND REPLACEMENT WITH NEW 391 SQUARE FOOT CONCRETE PORCH AND STEPS. SCOPE OF WORK INCLUDES SIDING REPLACEMENT AND/OR REPAIRS AS NECESSARY, REMOVAL OF EXISTING CONCRETE SIDEWALK AND REPLACEMENT WITH PERVIOUS BRICK ON SAND BED TO MATCH EXISTING.



EXISTING VIEW AT S.W. CORNER



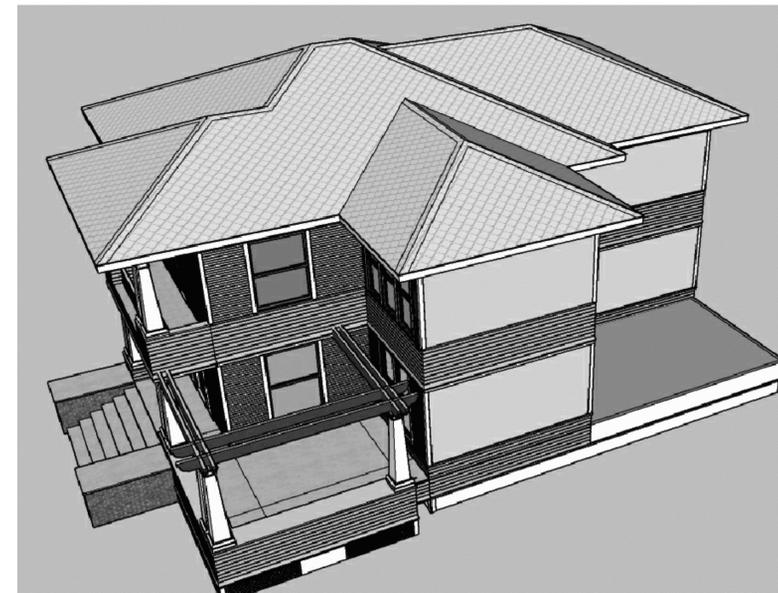
SOUTHWEST CORNER VIEW



EXISTING VIEW AT FRONT (WEST)

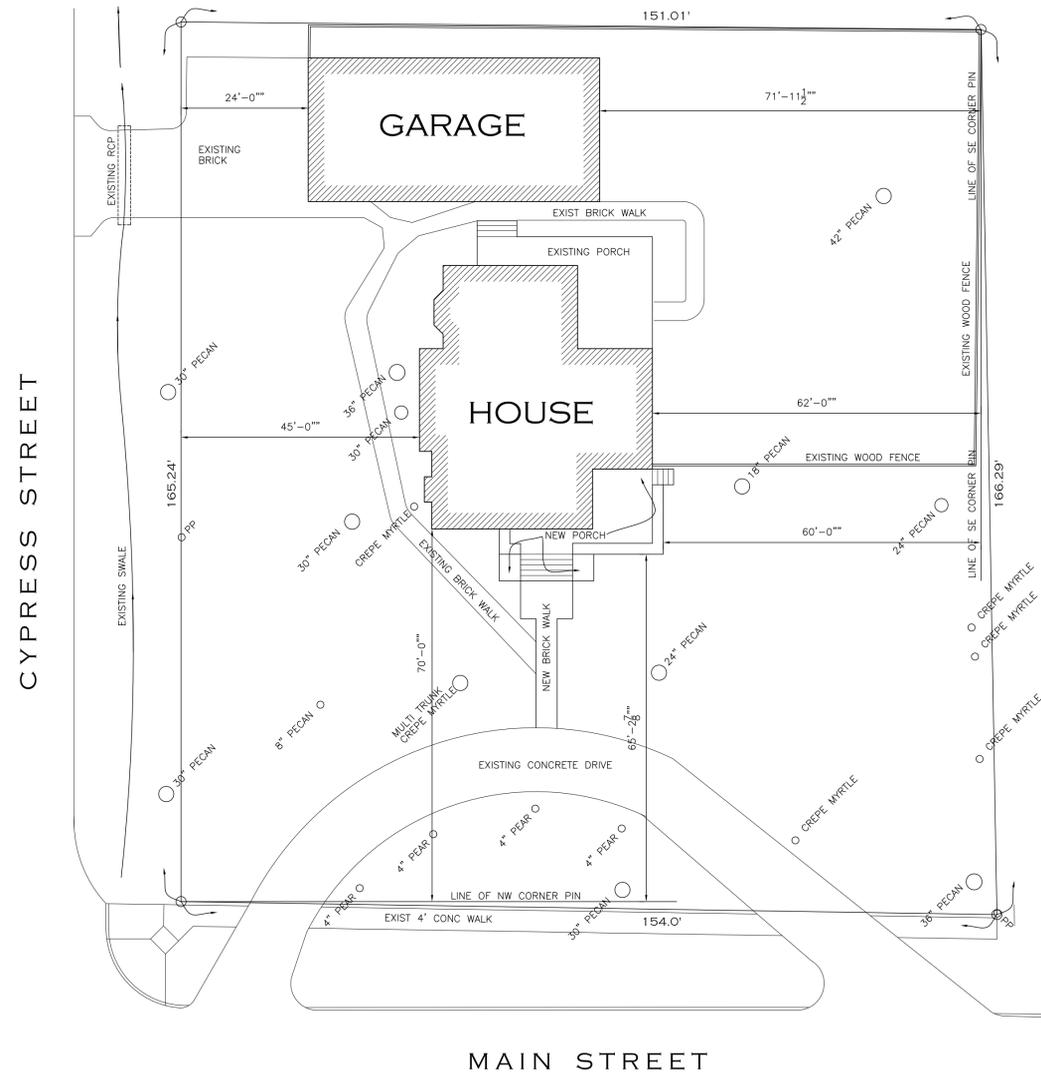


FRONT (WEST) VIEW



SOUTHWEST CORNER BIRDSEYE VIEW

1 SURVEY
 NOT TO SCALE



MAIN STREET

1 SITE PLAN
 1/16" = 1'-0"



DAVID WILLIAM HALL
 ARCHITECTURE
 7622 BETTY JANE LN
 HOUSTON TX 77055
 V 713.506.5746 DWH@DWARCHIT.COM F 713.682.4017



© Copyright 2020, DAVID WILLIAM HALL All Rights Reserved

FRONT PORCH RESTORATION
 1607 MAIN STREET
 HISTORICAL OLD BASTROP in the Heart of TEXAS

No.	Date	ISSUE/REVISION
1	5-13-2021	ISSUED FOR PERMIT
2		
3		
4		
5		
6		

SITE PLAN

PROJECT NO
 2017-50

Drawing Number

A1

GENERAL NOTES

GENERAL

THESE GENERAL NOTES SHALL APPLY UNLESS SPECIFICALLY NOTED ON THE PLANS AND DETAILS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SHALL COORDINATE ALL STRUCTURAL PLANS AND DETAILS WITH THE ARCHITECTURAL DRAWINGS BEFORE STARTING WORK. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. DESIGN, CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE.

THE STRUCTURAL SYSTEM OF THIS BUILDING IS DESIGNED TO PERFORM AS A COMPLETED UNIT. PRIOR TO COMPLETION OF THE STRUCTURE, STRUCTURAL COMPONENTS MAY BE UNSTABLE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TEMPORARY SHORING AND/OR BRACING AS REQUIRED FOR THE STABILITY OF THE INCOMPLETE STRUCTURE AND FOR THE SAFETY OF ALL ON-SITE PERSONNEL.

DESIGN CRITERIA

1. BUILDING CODE: 2018 INTERNATIONAL RESIDENTIAL CODE

2. GRAVITY LOADS:

A. DEAD LOADS		
1) ROOF	15 PSF	
2) FLOOR	100 PSF	

B. LIVE LOADS		
1) ROOF	20 PSF	
2) FLOOR	100 PSF	

C. SNOW LOADS		
1) GROUND SNOW LOAD, P _g	5 PSF	
2) IMPORTANCE FACTOR, I	1.0	

3. LATERAL LOADS

A. WIND LOADS			
1) WIND SPEED	115 MPH		
2) RISK CATEGORY	II		
3) IMPORTANCE FACTOR, I	1.0		
4) EXPOSURE	"B"		
5) INTERNAL PRESSURE COEFFICIENT	+/- 0.18		

B. COMPONENTS AND CLADDING

1) WALLS

EFFECTIVE AREA (SQ. FT.)	TYPICAL (PSF)	CORNERS (PSF)
10	19.5/-21.2	17.9/-32.8
500	16.0/-17.0	16.0/-19.7

2) ROOFS

EFFECTIVE AREA (SQ. FT.)	TYPICAL (PSF)	EDGES (PSF)	CORNERS (PSF)
10	16.0/-19.5	16.0/-32.8	32.7/-49.3
100	16.0/-18.3	16.0/-28.2	21.9/-42.4

C. SEISMIC LOADS

1) SEISMIC IMPORTANCE FACTOR	1.0
2) OCCUPANCY CATEGORY	II
3) MAPPED SPECTRAL RESPONSE ACCELERATIONS	
A) S _s	0.086g
B) S ₁	0.033g
4) SITE CLASS	C
5) SPECTRAL RESPONSE COEFFICIENTS	
A) S _{0s}	0.092g
B) S ₀₁	0.053g
6) SEISMIC DESIGN CATEGORY	A
7) BASIC SEISMIC-FORCE-RESISTING SYSTEM	
A) WOOD SHEAR WALLS	N/A
8) DESIGN BASE SHEAR	N/A
9) SEISMIC RESPONSE COEFFICIENT, C _s	N/A
10) RESPONSE MODIFICATION FACTOR, R	N/A
11) ANALYSIS PROCEDURE USED	
A) EQUIVALENT LATERAL FORCE	

BUILDING PAD PREPARATION

VERIFY SOIL BEARING CAPACITY OF 1500 PSF AND A 1" MAX PVR FOR SLAB ON GROUND WITH GEOTECHNICAL ENGINEER.

- PROVIDE TEMPORARY PROVISION FOR DRAINAGE OF THE BUILDING PAD AREA DURING CONSTRUCTION AND PERMANENT DRAINAGE AWAY FROM BUILDING AFTER CONSTRUCTION.
- AT THE ENTIRE AREA OCCUPIED BY THE BUILDING (AND FOR A DISTANCE OF 3 FT OUTSIDE OF THE BUILDING), REMOVE TOP SOIL, VEGETATION (TREE STUMPS AND MAJOR ROOT SYSTEMS SHOULD BE COMPLETELY REMOVED), DEBRIS, FAT CLAY, ETC. PER THE GEOTECHNICAL REPORT TO ACHIEVE THE PVR MENTIONED IN NOTE 8.
- THE EXPOSED SUBGRADE SHALL BE SCARIFIED AND COMPACTED PER THE GEOTECHNICAL REPORT.
- FILL BACK TO REQUIRED GRADE WITH SELECT STRUCTURAL FILL AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT TO ACHIEVE A MAX. PVR LISTED IN NOTE 8. FILL SHOULD EXTEND AT LEAST 3'-0" BEYOND THE FOUNDATION PERIMETER AND SLOPE DOWN AT NOT MORE THAN ONE TO TWO SLOPE TO NATURAL SOIL EXCEPT AT DEEP BEAM CONDITIONS.
- PERFORM ALL EARTHWORK DESCRIBED ABOVE BEFORE TRENCHING FOR GRADE BEAMS, MEP ITEMS, OR UTILITY LINES.
- EXCAVATE BEAM TRENCHES TO MEET PLANNED DIMENSIONS, PRIOR TO PLACEMENT OF CONCRETE. HAND COMPACT BOTTOM OF BEAM TRENCHES PER THE GEOTECHNICAL REPORT. STANDING WATER SHOULD NOT BE PERMITTED IN THE BEAM TRENCHES AFTER FINAL COMPACTION AND BEFORE PLACEMENT OF CONCRETE. REMOVE ALL LOOSE MATERIALS AND UNSUITABLE SOILS DUE TO RAINFALL OR BY DESICCATION.
- THE OWNER IS TO EMPLOY AN INDEPENDENT TESTING LABORATORY TO TAKE DENSITY TESTS FOR SUBGRADE AND EACH LIFT OF SELECT FILL TO MEET THE REQUIREMENTS PER GEOTECH REPORTS.
- THE FOLLOWING DESIGN PARAMETERS WERE USED TO DESIGN THE FOUNDATION
 - SOIL BEARING CAPACITY - 1500 PSF
 - MAX PVR FOR SLAB ON GROUND IS TO BE 1"
- IF UTILITY TRENCHES ARE REQUIRED, WE RECOMMEND THAT MEASURES BE TAKEN TO PROHIBIT TRANSMITTING WATER UNDER THE BUILDING PAD. REFERENCE GEOTECHNICAL REPORT OR CONTACT GEOTECHNICAL ENGINEER FOR BACKFILL REQUIREMENTS.

CONCRETE NOTES

- ALL CONCRETE WORK SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE (ACI) SPECIFICATION, ACI 301-05 AND THE BUILDING CODE REQUIREMENTS, ACI 318-11.
- ALL DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, MUST FOLLOW THE "ACI DETAILING MANUAL", PUBLICATION SP-66, LATEST EDITION, ACI 315, LATEST EDITION, AND ACI 315R, LATEST EDITION.

CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS:	
ALL CONCRETE	3,000 PSI
MINIMUM CEMENT CONTENT	4.5 SACKS/CY
MAXIMUM WATER/CEMENT RATIO	0.55
SLUMP RANGE	2" MIN. - 5" MAX.

TYPE C OR F FLY ASH CAN BE SUBSTITUTED FOR CEMENT 20% TO 25% BY WEIGHT. CALCIUM CHLORIDE IS NOT ACCEPTABLE FOR USE IN MIX. FURNISH MIX DESIGNS FOR ALL CLASSES OF CONCRETE. RETAIN A QUALIFIED TESTING LABORATORY TO MAKE CONCRETE CYLINDERS AND PERFORM COMPRESSIVE TESTS. A MINIMUM OF THREE CYLINDERS SHALL BE TAKEN PER 50 CUBIC YARDS OF CONCRETE, WITH ONE TEST AT 7 DAYS AND TWO AT 28 DAYS. COARSE AND FINE AGGREGATES SHALL COME FROM SOURCES LISTED ON THE "CONCRETE RATED SOURCE QUALITY CATALOG" BY THE TEXAS DEPARTMENT OF TRANSPORTATION AS NON REACTIVE SOURCES PUBLISHED LATEST EDITION. SOURCES OF RIVER GRAVEL AND SAND SHALL HAVE NO MARCASITE OR IRON PYRITE PRESENT AT THE PRODUCTION FACILITY.

4. REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.

5. STANDARD PROTECTIVE COVER OF REINFORCING BARS UNLESS OTHERWISE NOTED SHALL BE:

SLABS ON GRADE (TOP)	2 IN.
GRADE BEAMS AND PIERS	
TOPS	1 1/2 IN.
SIDES	3 IN.
BOTTOMS	3 IN.
OTHER	1 1/2 IN.

6. AT CORNERS AND "T" INTERSECTIONS OF ALL BEAMS EXTEND 4 CORNER BARS EQUAL TO THE SCHEDULED STEEL IN THE ADJACENT BEAMS 2'-0" EACH WAY, 2 BARS TOP AND 2 BARS BOTTOM. PROVIDE CORNER BARS AT ALL INTERMEDIATE REINFORCING BARS IN WALLS AND DEEP BEAMS.

7. ALL ACCESSORIES SHALL BE IN ACCORDANCE WITH THE "ACI DETAILING MANUAL", PUBLICATION SP-66, LATEST EDITION, ACI 315, LATEST EDITION, AND ACI 315R, LATEST EDITION. PROVIDE CONCRETE BRICK CHAIRS AT ALL BEAMS AND SLABS TO SUPPORT REINFORCING STEEL AT A SPACING NOT TO EXCEED 4'-0" O.C. IN ANY DIRECTION.

8. PROVIDE CONTROL JOINTS IN ALL SLABS AT A SPACING NOT TO EXCEED 15'-0" O.C. EACH WAY. JOINT DEPTH SHALL BE A MINIMUM OF 1/4 THE SLAB THICKNESS. IF JOINTS ARE SAW-CUT, THE CUTTING SHALL TAKE PLACE IMMEDIATELY AFTER FINISHING THE SLAB. JOINTS SHALL NOT BE LOCATED IN LINE WITH AND ABOVE GRADE BEAMS. COORDINATE LOCATION OF JOINTS WITH ARCHITECT.

9. VERTICAL JOINTS IN FLOOR SLABS ARE TO BE SHOWN ON PLANS. NO HORIZONTAL JOINTS WILL BE PERMITTED IN SLABS OR BEAMS UNLESS NOTED OTHERWISE.

10. INCLUDE AN ALLOWANCE FOR 10% EXTRA TONS OF REINFORCING STEEL (ANY SIZE) TO BE USED AS DIRECTED IN THE FIELD FOR SPECIAL CONDITIONS LABOR PLACING THE SAME TO BE INCLUDED) UPON COMPLETION OF THE PROJECT REBATE ANY AMOUNT REMAINING TO THE OWNER.

11. LAP LENGTHS FOR BARS SCHEDULED AND DETAILED "CONT." SHALL BE:

FOR 3000 PSI CONCRETE	
#3 BARS - 22 INCHES	#7 BARS - 63 INCHES
#4 BARS - 29 INCHES	#8 BARS - 72 INCHES
#5 BARS - 36 INCHES	#9 BARS - 81 INCHES
#6 BARS - 43 INCHES	

LAP LENGTH FOR WELDED WIRE REINFORCEMENT SHALL BE EQUAL TO A DISTANCE OF TWO TIMES THE MESH SIZE OPENING.

12. CONCRETE PLACED BY PUMPING SHALL MEET THE FOLLOWING REQUIREMENTS:

- COARSE AGGREGATE SHALL BE GRADED FROM A MAXIMUM OF 1" DOWN.
- MAXIMUM ALLOWABLE INCREASE IN CEMENT FACTOR SHALL BE 1/2 SACK PER CUBIC YARD OVER NORMAL MIX DESIGN.
- MAXIMUM WATER CEMENT RATIO SHALL CONFORM TO NOTE 3 OF THIS SECTION. IF MORE WORKABILITY IS REQUIRED, AN ADMIXTURE MAY BE USED.
- MAXIMUM WEIGHT RATIO OF FINE AGGREGATES TO COARSE AGGREGATES SHALL NOT EXCEED 2/3.
- REFER TO ACI 301-05, SECTION 800, FOR OTHER PUMPING REQUIREMENTS.

13. WELDING OR HEAT BENDING OF REINFORCING BARS SHALL NOT BE PERMITTED, UNLESS APPROVED BY THE ENGINEER.

14. PROVIDE 3 - 3'-0" LONG #4 DIAGONAL REINFORCING BARS AT ALL REINFRANT CORNERS.

15. DURING PLACEMENT OF CONCRETE, USE A TREMIE OR OTHER MEANS TO LIMIT FREE FALL OF CONCRETE TO 5'-0".

16. PROVIDE 1/2" DIAMETER X 10" LONG HOT DIPPED GALVANIZED ANCHOR BOLTS AT 4'-0" O.C. IN THE FOUNDATION AT THE LOCATIONS OF ALL EXTERIOR WOOD FRAMED WALLS. THERE SHALL BE A MINIMUM OF 2 BOLTS PER PLATE SECTION WITH 1 BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. BOLTS SHALL EXTEND A MINIMUM OF 7" INTO THE CONCRETE.

17. EXTEND ALL GRADE BEAMS A MINIMUM OF 1'-6" BELOW EXISTING GRADE.

18. CONCRETE SHALL BE CONTINUOUSLY CURED FOR A PERIOD OF 7 DAYS FOLLOWING PLACEMENT BY ANY OF THE FOLLOWING METHODS:

- FOGGING WITH WATER
- APPLYING AN APPROVED SPRAY ON CONCRETE CURING COMPOUND
- COVERING WITH A POLY MEMBRANE

19. PROVIDE STEGO WRAP 11 MIL. VAPOR BARRIER OR APPROVED EQUAL UNDER ALL CONCRETE SLABS AND GRADE BEAMS. VAPOR BARRIER SHALL CONFORM TO ASTM E 1745 CLASS A REQUIREMENTS. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND ASTM E 1643-98. DO NOT TEAR OR PUNCTURE VAPOR BARRIER.

20. FOR CONTINUOUS BEAMS THAT SPAN OVER MORE THAN 2 SUPPORTS, SPLICES FOR TOP BARS SHALL BE AT MID SPAN AND SPLICES FOR BOTTOM BARS SHALL BE OVER SUPPORTS.

21. PIPES AND/OR CONDUITS GREATER THAN 1" IN OUTSIDE DIAMETER MUST BE LOCATED BENEATH THE VAPOR BARRIER, BURIED WITHIN THE FILL MATERIAL.

22. PIPE OR CONDUIT LOCATED WITHIN THE GRADE BEAM AND RUNNING PARALLEL TO THE LENGTH OF THE GRADE BEAM IS LIMITED TO ONE 2" MAX. DIAMETER PIPE OR CONDUIT AND SHALL BE LOCATED AT MID-DEPTH OF THE GRADE BEAM. THE PIPE OR CONDUIT MUST CLEAR THE REINFORCING STEEL 2" MIN.

23. WHERE PIPES EXTEND VERTICALLY THROUGH GRADE BEAM, WIDEN GRADE BEAM BY A DISTANCE GREATER THAN OR EQUAL TO THE DIAMETER OF THE PIPE. PLACE HALF OF THE HORIZONTAL BEAM REINFORCING AT EACH SIDE OF THE PIPE. THE PIPE OF CONDUIT MUST CLEAR THE REINFORCING STEEL BY 2" MIN.

24. WHERE HORIZONTAL PIPES CROSS PERPENDICULAR TO THE GRADE BEAM, REFER TO DETAIL X/S-3.0 FOR BEAM DIMENSIONS AND REINFORCING REQUIREMENTS

SCHEDULE OF SITE OBSERVATIONS BY ENGINEER:

1. ALL STRUCTURAL ELEMENTS OF THE BUILDING SHALL BE OBSERVED BY THE STRUCTURAL ENGINEER'S REPRESENTATIVE DURING THE CONSTRUCTION PHASE, SO THAT A FINAL LETTER OF COMPLIANCE CAN BE PROVIDED TO THE OWNER AND/OR BUILDING AUTHORITY.

2. PRIOR TO THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL ARRANGE A MEETING WITH THE STRUCTURAL ENGINEER TO SET UP A SCHEDULE FOR THE FOLLOWING OBSERVATIONS, NOT TO EXCEED THE SPECIFIED NUMBER OF VISITS:

A. CONCRETE: FOR EACH CONCRETE POUR UNLESS NOTED OTHERWISE BY THE ENGINEER - 1 VISIT

3. THESE STRUCTURAL OBSERVATIONS ARE THE REQUIREMENTS OF THE STRUCTURAL ENGINEER AND DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR THE SPECIAL INSPECTIONS REQUIRED BY CHAPTER 17 OF THE 2015 INTERNATIONAL BUILDING CODE. SPECIAL INSPECTION SHALL BE PERFORMED BY THE SPECIAL INSPECTOR WHO SHALL BE HIRED BY OWNER TO MEET CHAPTER 17 OF IBC 2015.

POST-INSTALLED ANCHORS BY SIMPSON

1. POST-INSTALLED ANCHORS SHALL ONLY BE USED WHERE SPECIFIED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER-OF-RECORD PRIOR TO INSTALLING POST-INSTALLED ANCHORS IN PLACE OF MISSING OR MISPLACED CAST-IN-PLACE ANCHORS. CARE SHALL BE TAKEN IN PLACING POST-INSTALLED ANCHORS TO AVOID CONFLICTS WITH EXISTING REBAR. HOLES SHALL BE DRILLED AND CLEANED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. SUBSTITUTION REQUESTS FOR PRODUCTS OTHER THAN THOSE SPECIFIED BELOW SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER-OF-RECORD ALONG WITH CALCULATIONS THAT ARE PREPARED & SEALED BY A REGISTERED PROFESSIONAL ENGINEER. THE CALCULATIONS SHALL DEMONSTRATE THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERTINENT EQUIVALENT PERFORMANCE VALUES (MINIMUM) OF THE SPECIFIED PRODUCT USING THE APPROPRIATE DESIGN PROCEDURE AND/OR STANDARD(S) AS REQUIRED BY THE BUILDING CODE. PROVIDE CONTINUOUS SPECIAL INSPECTION FOR ALL MECHANICAL AND ADHESIVE ANCHORS PER THE APPLICABLE EVALUATION REPORT (ICC-ES ESR). CONTACT MANUFACTURER'S REPRESENTATIVE FOR THE INITIAL TRAINING AND INSTALLATION OF ANCHORS AND FOR PRODUCT RELATED QUESTIONS AND AVAILABILITY. FOR SIMPSON STRONG-TIE PRODUCTS CONTACT CHAD EADES AT (512) 992-8494.

A. CONCRETE ANCHORS

i. MECHANICAL ANCHORS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ACI 308.2 AND ICC-ES AC193 FOR CRACKED AND UNCRACKED CONCRETE RECOGNITION. PRE-APPROVED MECHANICAL ANCHORS INCLUDE:

- SIMPSON STRONG-TIE "TITEN-HD" AND "TITEN-HD ROD HANGER" (ICC-ES ESR-2713)
- SIMPSON STRONG-TIE "STRONG-BOLT" (ICC-ES ESR-1771)
- SIMPSON STRONG-TIE "STRONG-BOLT 2" (ICC-ES ESR-3037)
- SIMPSON STRONG-TIE "TORO-CUT" (ICC-ES ESR-2705)

ii. ADHESIVE ANCHORS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ICC-ES AC308 FOR CRACKED AND UNCRACKED CONCRETE RECOGNITION. PRE-APPROVED ADHESIVE ANCHORS INCLUDE:

- SIMPSON STRONG-TIE "SET-XP" (ICC-ES ESR-2508)

iii. POWDER ACTUATED FASTENERS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ICC-ES AC70. PRE-APPROVED POWDER ACTUATED FASTENERS INCLUDE:

- SIMPSON STRONG-TIE POWER DRIVEN FASTENERS (ICC-ES ESR-2138)

STRUCTURAL STEEL NOTES

1.0 ALL STRUCTURAL STEEL WIDE FLANGE BEAMS SHALL CONFORM TO THE ASTM SPECIFICATION A992 (F_y = 50 KSI) UNLESS OTHERWISE SHOWN OR NOTED.

1.1 ALL STRUCTURAL STEEL TUBES SHALL CONFORM TO ASTM SPECIFICATION A500 GRADE B (F_y = 46 KSI).

1.2 ALL STRUCTURAL STEEL PIPES SHALL CONFORM TO ASTM A53 GRADE B (F_y = 35 KSI).

1.3 ALL STRUCTURAL STEEL PLATES AND ANGLES SHALL CONFORM TO ASTM A36 (F_y = 36 KSI).

2. ALL STRUCTURAL STEEL SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC).

3. ALL STRUCTURAL BOLTS SHALL CONFORM TO ASTM A325 UNLESS OTHERWISE SHOWN OR NOTED. FURNISH HARDENED WASHERS AT ALL BOLTED CONNECTIONS, INCLUDING ANCHOR BOLTS.

4. REFER TO ARCHITECTURAL AND MECHANICAL PLANS FOR VERIFICATION OF ALL BOLTS, BLOCKING ANCHORS, ETC., FOR THE ANCHORAGE OF THEIR RESPECTIVE ITEMS.

5. ALL BEAMS AND COLUMNS SHALL BE FULL LENGTH WITHOUT SPLICES UNLESS OTHERWISE INDICATED ON PLANS.

6. ALL SHOP AND FIELD WELDS SHALL BE MADE BY WELDERS WHO HAVE BEEN QUALIFIED AND CERTIFIED TO MAKE THE REQUIRED WELDS IN ACCORDANCE WITH THE LATEST AMERICAN WELDING SOCIETY (AWS) STANDARD AWS D1.1. ELECTRODES WHICH PRODUCE A MINIMUM 70 KSI TENSILE STRENGTH WELD SHALL BE USED.

7. ERECTION CONNECTORS SHALL BE PROVIDED IN ORDER TO PROPERLY ALIGN STRUCTURAL STEEL MEMBERS SO THAT THEY ARE TRUE AND PLUMB WHEN WELDS ARE MADE.

ABBREVIATION LIST

2X	2" NOMINAL WIDTH
4X	4" NOMINAL WIDTH
&	AND
AB	ANCHOR BOLT
ACI	AMERICAN CONCRETE INSTITUTE
AFF	ABOVE FINISH FLOOR
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AISI	AMERICAN IRON AND STEEL INSTITUTE
ARCH	ARCHITECTURAL
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWS	AMERICAN WELDING SOCIETY
BOS	BOTTOM OF STEEL
BT	BOTTOM, BOTTOM OF
BRG	BEARING
CJ	CONTROL JOINT
CL	CENTER LINE
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
DIA	DIAMETER
EV	EXPANSION JOINT
EQ	ELEVATION
EW	EACH WAY
FDN	FOUNDATION
FF	FINISHED FLOOR
FV	FIELD VERIFY
GA	GAUGE
GC	GENERAL CONTRACTOR
HORIZ	HORIZONTAL
HSA	HEADED STUD ANCHOR
INFO	INFORMATION
KSI	KIPS PER SQUARE INCH
L	LENGTH
LBS	POUNDS
LEH	LONG EDGE HORIZONTAL
LEV	LONG EDGE VERTICAL
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LONG	LONGITUDINAL
LVL	LAMINATED VENEER LUMBER
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
NO	NUMBER
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OPP	OPPOSITE
OSB	ORIENTED STRAND BOARD
PAF	POWDER ACTUATED FASTENERS
PCF	POUNDS PER CUBIC FOOT
PJ	PANEL JOINT
PL	PLATE
PLF	POUNDS PER LINEAR FOOT
PLWD	PLYWOOD
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
QTY	QUANTITY
REF	REFERENCE, REFER TO
REIN	REINFORCING
REQD	REQUIRED
RO	ROUGH OPENING
RTU	ROOF TOP UNIT
SC	SAW CUT
SCH	SCHEDULE
SDI	STEEL DECK INSTITUTE
SIM	SIMILAR
SJI	STEEL JOIST INSTITUTE
SPECS	SPECIFICATIONS
STL	STEEL
STRUC	STRUCTURAL
TOB	TOP OF BEAM
TOC	TOP OF CONCRETE
TOF	TOP OF FOOTING
TOJ	TOP OF JOIST
TOM	TOP OF MASONRY
TOP	TOP OF PIER
TOS	TOP OF STEEL
TRANS	TRANSVERSE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VIF	VERIFY IN FIELD
WP	WORK POINT



BLUE MARLIN
Residential Engineers

1987 GARFIELD ST., BASTROP, TX 78602
P: 214-210-7841 | FIRM REG # 19892



03-09-21

EMMERT PORCH

1607 MAIN STREET | BASTROP, TEXAS 78602

DATE 03-09-21
PROJECT NUMBER 21001
REVISIONS

GENERAL NOTES

S-1

1 of 2



BLUE MARLIN Residential Engineers

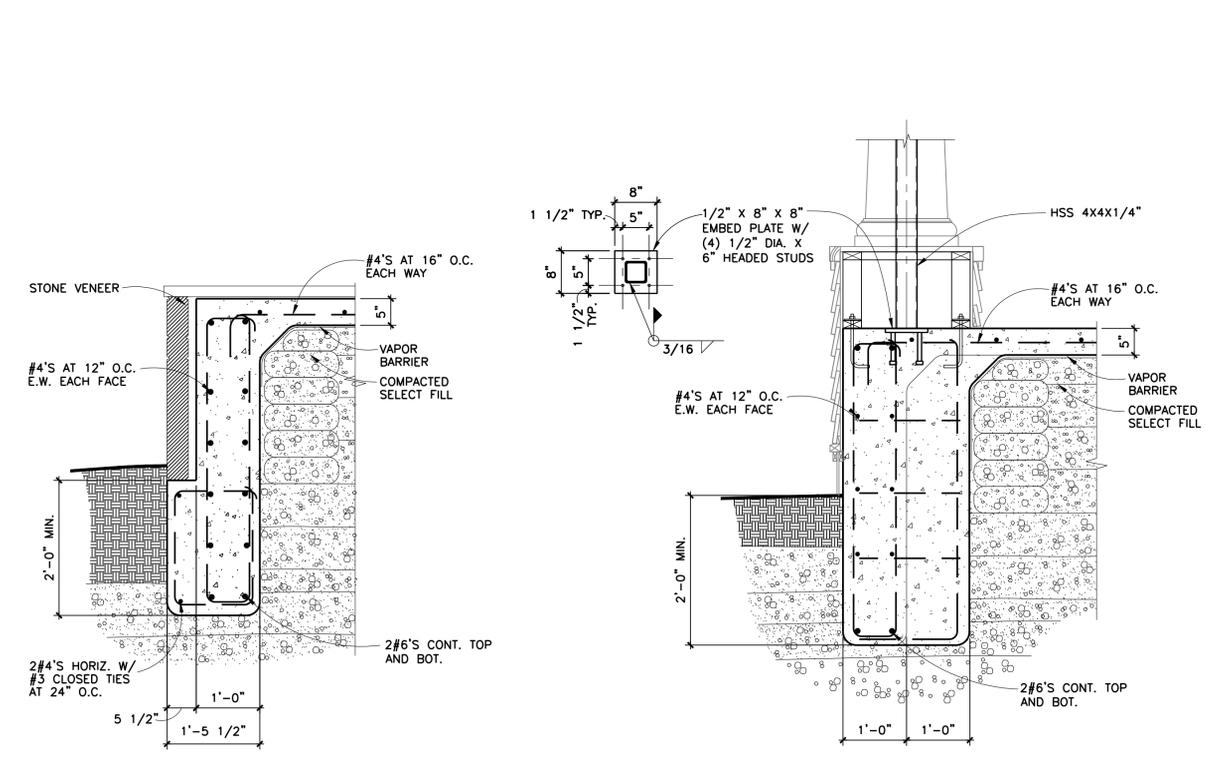


EMMERT PORCH
1607 MAIN STREET | BASTROP, TEXAS 78602

DATE 03-09-21
PROJECT NUMBER 21001
REVISIONS

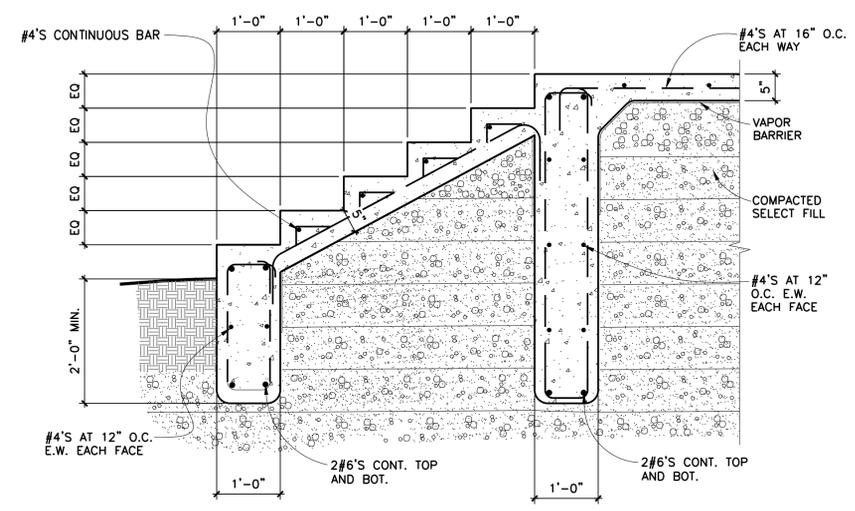
FOUNDATION PLAN AND FOUNDATION DETAILS

S-2
2 OF 2

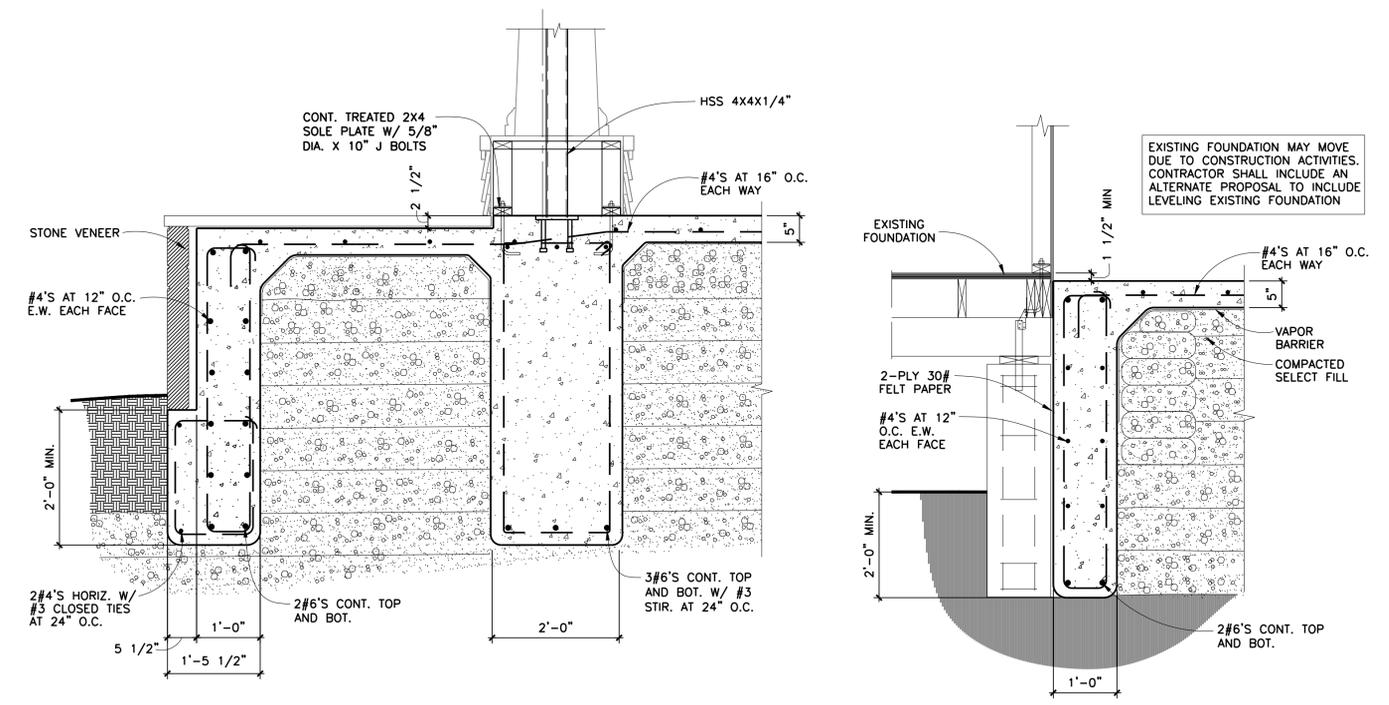


1. TYP. DETAIL
3/4" = 1'-0"

2. TYP. DETAIL
3/4" = 1'-0"

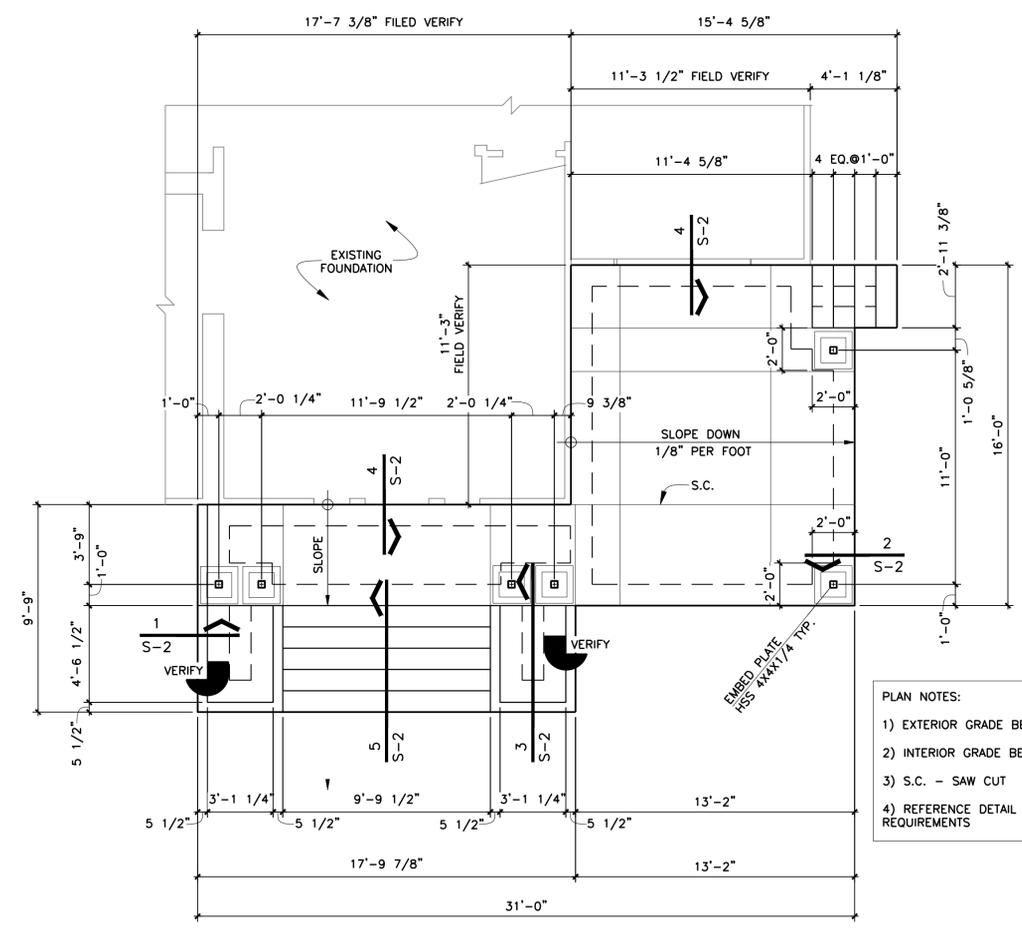


5. TYP. DETAIL
3/4" = 1'-0"



3. TYP. DETAIL
3/4" = 1'-0"

4. TYP. DETAIL
3/4" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"

- PLAN NOTES:
- 1) EXTERIOR GRADE BEAM DEPTH IS 2'-6" MIN.
 - 2) INTERIOR GRADE BEAM DEPTH IS 2'-0" MIN.
 - 3) S.C. - SAW CUT
 - 4) REFERENCE DETAIL 2/S-2 FOR EMBED PLATE REQUIREMENTS

EXISTING FOUNDATION MAY MOVE DUE TO CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL INCLUDE AN ALTERNATE PROPOSAL TO INCLUDE LEVELING EXISTING FOUNDATION

	COUNTY	BLOCK	BAS	NE	SW-3
	CITY	QUAD	LOT :	BA	p.4

NAME: J.T. Crysap House
ADDRESS: 1607 Main
ARCHITECT/BUILDER: _____
OWNER: Ms. John A dkin Bx. K

COUNTY: Bastrop
CITY: Bastrop
PERIOD: FDT
DATE: c. 1918
THEME: A APRS
STYLE: Prarie School Style

DESCRIPTION: 2-story, double hipped roof w/ projected portico & gallery, diagonal dress skirting at base, 1 chimney, wide l/l windows with strong horizontal ribbon of siding at base and second floor.

SIGNIFICANCE: Built for J.T. Crysap, a banker w/ Citizen's State Bank.

DESIGNATION: NR NHL RTHL HABS HAER OTHER: H

ORIGINAL USE: Residence
PRESENT USE: Same

PHYSICAL CONDITION: Good
altered/unaltered: _____

CONSTRUCTION: wall: Frame roof: Pressed tin

RELATIONSHIP TO SURROUNDINGS: _____
ACREAGE/BOUNDARY DESCRIPTION: _____

BIBLIOGRAPHIC DATA: _____
INFORMANT: _____

RECORDED BY: MY/SK PHOTOGRAPHIC DATA: _____
DATE: 12-21-76 SEE INFO/CORRESPONDENCE FILES: _____

9 MAJOR BIBLIOGRAPHICAL REFERENCES

See continuation sheet

10 GEOGRAPHICAL DATA

ACREAGE OF NOMINATED PROPERTY resource area is approx. 4,000 acres

UTM REFERENCES (no map available with UTM markings---Latitude & Long. below)

A	30					B					
	ZONE	EASTING	NORTHING				ZONE	EASTING	NORTHING		
C						D					
	ZONE	EASTING	NORTHING				ZONE	EASTING	NORTHING		

VERBAL BOUNDARY DESCRIPTION

(A) $30^{\circ}05'30''/97^{\circ}16'38''$ (B) $30^{\circ}05'30''/97^{\circ}20'30''$
 (C) $30^{\circ}08'14''/97^{\circ}16'38''$ (D) $30^{\circ}08'14''/97^{\circ}20'30''$

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE	CODE	COUNTY	CODE
STATE	CODE	COUNTY	CODE

11 FORM PREPARED BY

NAME/TITLE Marie Deacon Landon, Historian Stan Klein, Draftsman
Joe R. Williams, Project Director

ORGANIZATION _____ DATE _____

STREET & NUMBER _____ TELEPHONE _____

CITY OR TOWN _____ STATE _____

12 STATE HISTORIC PRESERVATION OFFICER CERTIFICATION

THE EVALUATED SIGNIFICANCE OF THIS PROPERTY WITHIN THE STATE IS:

NATIONAL STATE LOCAL

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

STATE HISTORIC PRESERVATION OFFICER SIGNATURE _____

TITLE Texas State Historic Preservation Officer

DATE Dec 13, 1977

FOR NPS USE ONLY

I HEREBY CERTIFY THAT THIS PROPERTY IS INCLUDED IN THE NATIONAL REGISTER

DATE 12/22/78

DIRECTOR, OFFICE OF ARCHAEOLOGY AND HISTORIC PRESERVATION

KEEPER OF THE NATIONAL REGISTER

ATTEST William Tolson

DATE 12/20/78

KEEPER OF THE NATIONAL REGISTER

Please refer to the map in the
Multiple Property Cover Sheet
for this property

Multiple Property Cover Sheet Reference Number: 64000828



STAFF REPORT

MEETING DATE: July 21, 2021

AGENDA ITEM: 3C

TITLE:

Consider action to approve a Certificate of Appropriateness for 0.30 acres of Building Block 27, East of Water Street, located at 1008 Walnut Street, to add a 485 square foot addition to the rear of the house along Hill Street for a Site with a Texas State Historic Marker for Thomas H. Mays.

STAFF REPRESENTATIVE:

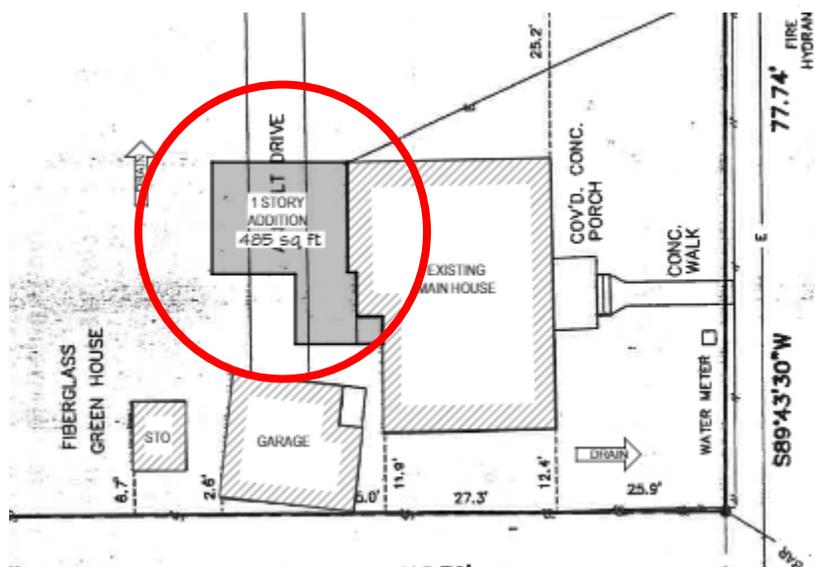
Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director/Historic Preservation Officer

ITEM DETAILS:

Site Address: 1008 Walnut Street (Attachment 1)
Property Owner: Lee Ann Calaway
Applicant: Shawn Kana/SK Contracting
Current Use: Residential
Existing Zoning: P-3 Neighborhood
Designations: Texas State Historical Marker

BACKGROUND/HISTORY:

The property owner at 1008 Walnut Street is proposing to add onto the rear of the structure, parallel to Hill Street (Attachment 3). The house was once owned by Thomas H. Mays, who in 1834 became Bastrop's first municipal surveyor. Two years later he fought and was wounded in the Battle of Jacinto. Upon his return, he served in several municipal positions.



The existing house was built circa 1850, approximately 1230 square feet in size. It is a simple, one story house, with wood lap siding, 6 x 6 windows and a metal standing seamed roof.



The new addition is to the rear of the structure and will continue the side façade. The siding, roof, and windows will all match the existing style and materials of the existing house.

POLICY EXPLANATION:

When a Certificate of Appropriateness is required, no work can begin before the Historic Preservation Officer, or the Commission has first issued a Certificate of Appropriateness. The Certificate of Appropriateness shall be in addition to and not in lieu of any permits required (i.e. building, sign, alcohol, etc.). The Building Official cannot approve any application for a sign or building permit to a structure and/or site that requires but does not have a Certificate of Appropriateness.

Section 9.3.006 Criteria of Approval of a Certificate of Appropriateness (COA)

(1) In considering an application for a Certificate of Appropriateness, the commission shall be guided by any locally adopted design standards, and where applicable, the following from the Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings. Any adopted design standards and Secretary of the Interior's Standards shall be made to the property owners of historic landmarks.

Applicable criteria

- (A) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
- (I) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, color, material, and character of the property, neighborhood, or environment.
- (J) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

The proposed addition to the structure is compatible with both the design and material of the existing structure, and the architectural style of the era and neighborhood.

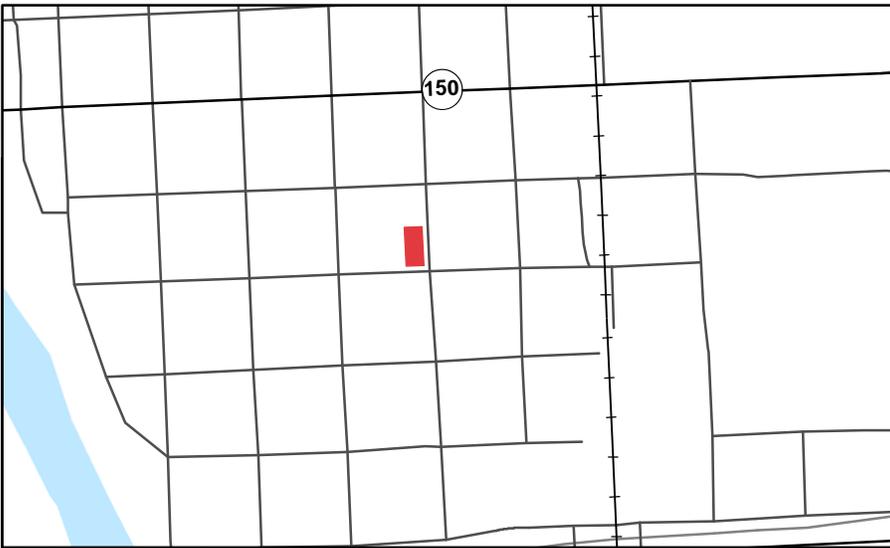
RECOMMENDATION:

Consider action to approve a Certificate of Appropriateness for 0.30 acres of Building Block 27, East of Water Street, located at 1008 Walnut Street, to add a 485 square foot addition to the rear of the house along Hill Street for a Site with a Texas State Historic Marker for Thomas H. Mays.

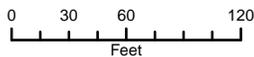
ATTACHMENTS:

- Attachment 1 – Location Map
- Attachment 2 – Project Description
- Attachment 3 – Application Exhibits

Attachment 1 Location Map



Certificate of Appropriateness 1008 Walnut Street Addition to Structure



1 inch = 100 feet



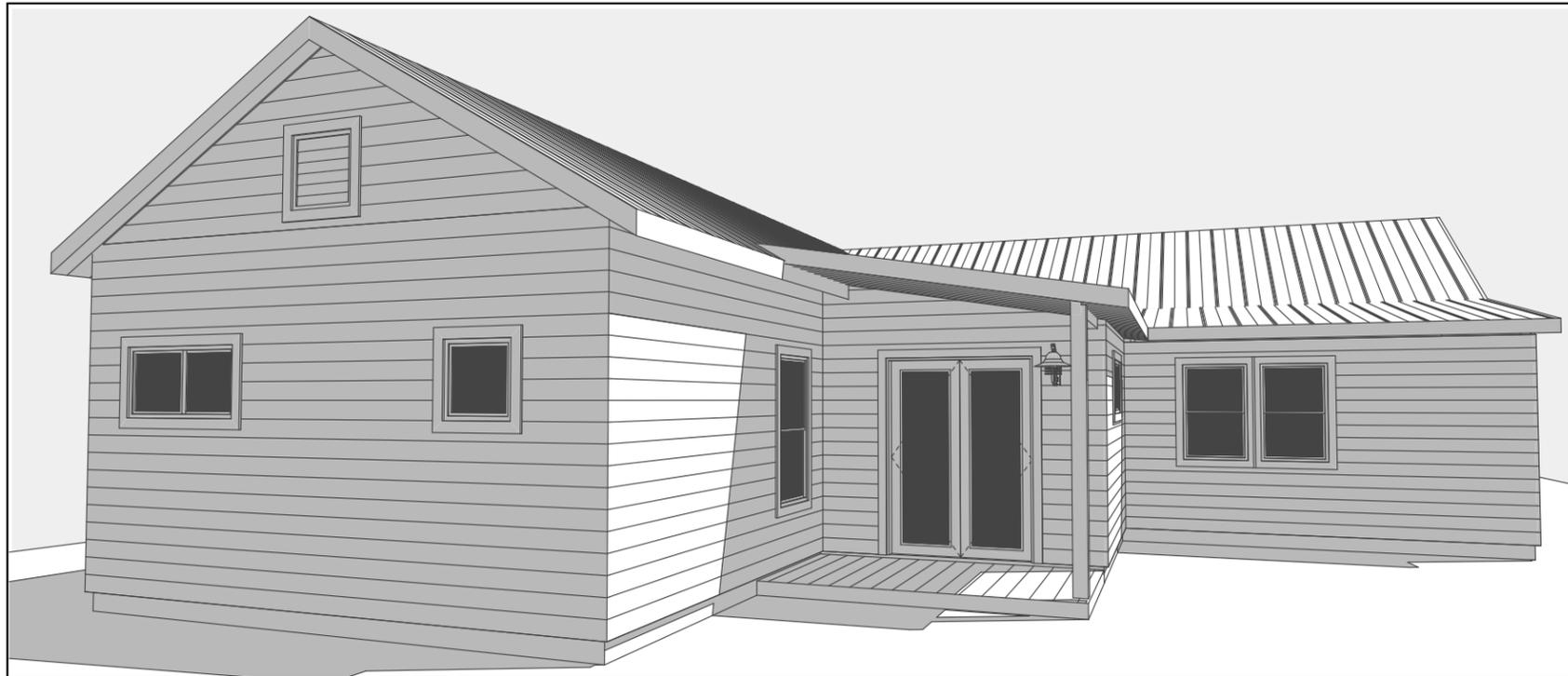
Date: 7/16/2021

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of any such information, nor does it represent that its use would not infringe upon privately owned rights.

**Lee Ann Calaway
1008 Walnut Street Addition**

Scope of Project:

- **Foundation Framing:**
There will be a triple 2"x10" beam bolted and lagged to the existing beam of the original structure. A double 2"x10" outside beam and interior ridge beam with 12" sonotube concrete piers for support. Each pier will be set at equal distances apart, totaling nine piers. There will be three on each outside run, and three in middle under the ridge beam. Each pier will be set at a minimum of 30" with ½" reinforced steal for structure. The beams will be tied together with 2"x8" joists set at 16" on center with joist hanger attachments on each. The sub floor will be 4'x8'x3/4" Advantech tongue and groove plywood.
- **Wall Framing:**
The walls will be 10' in height and set 16" on center. Each door and window will have and 2"x6" header for support. The walls will be sheathed with 7/16" OSB and sealed with a Tyvek moisture membrane. A smooth lap siding will be used to match the existing siding.
- **Roof Framing:**
The roof will be 2"x8" rafters set 24" on center and will carry the same ridgeline as the existing roof (approximately 6/12 pitch gable). The rafters will be lathed with 1"x4" material also set 24" on center. The roof will be metal to match the existing roof.



PROJECT INFORMATION

Master Suite Addition for Lee Ann Calaway

PROJECT ADDRESS

1008 Walnut Street, Bastrop, Texas 78602

PROJECT CONTACT INFORMATION

Owner:
Lee Ann Calaway
1008 Walnut Street
Bastrop, Texas 78602
-
-

Design Team:
Serna+Design Consultants PLLC
1104 Hill Street, Bastrop, Texas 78602
Pablo Serna, AIA LEED AP
(512) 412-6111 // pablo@lostpinesarchitecture.com

SEC Solutions, LLC
1775 County Rd. #279, Liberty Hill, Texas 78642
Marcos Dequeiroga, PE
(512) 215-4364 // office@sectexas.com

BUILDING AREA, SITE CALCULATIONS & ENERGY CODE SUMMARY

A. PROPERTY INFORMATION

CHARACTER DISTRICT: P-3, NEIGHBORHOOD
ACRES (SF): 0.305 AC (13,285 SF)
LEGAL DESCRIPTION:
BUILDING BLOCK 27 E W ST
BASTROP COUNTY

B. SUMMARY SCOPE OF WORK

1. OWNER INTENDS TO BUILD A ONE BEDROOM
ADDITION.

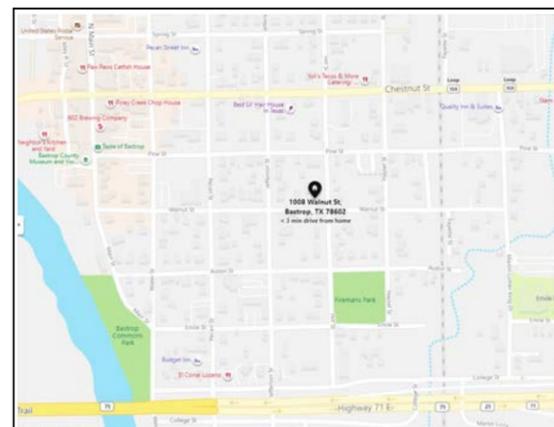
D. BUILDING ENVELOPE COMPLIANCE METHOD (CONDITIONED FLOOR AREA < 18%)

- CALCULATE % GLAZING
OF CONDITIONED FLOOR AREA: 8 GLAZING (SQ.FT.) / 355 WALL AREA (SQ.FT.) X 100 = 11.6%
- INSULATION & FENESTRATION:
A. U-FACTOR (MAX): 0.35 B. SHGC (MAX): 0.25 C. CEILING, R-VALUE: 38
D. WALL, R-VALUE: 20 E. FLOOR, R-VALUE: 13
- INSULATION TYPE: FIBERGLASS

E. GENERAL PRESCRIPTIVE REQUIREMENTS

- RADIANT BARRIER:
 NO YES (CEILING INSUL. MAY BE REDUCED TO R-19, IF USING APPROVED TYPE OF MATERIAL)
- HVAC EQUIPMENT:
TYPE: SPLIT-SYSTEM S.E.E.R.: 18 DUCT INSULATION: 6
- SERVICE WATER HEATING:
TYPE: ELEC. RESIST. HEAT EFFICIENCY: 0.748 PIPE INSULATION: 0.5"

C. VICINITY MAP



F. REFERENCE CODES & STANDARDS

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 UNIFORM PLUMBING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 NATIONAL ELECTRIC CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL FIRE CODE + LOCAL AMMENDMENTS
- 2018 INTERNATIONAL GAS CODE

INDEX OF DRAWINGS *

(engineering drawings attached at the end of this section)

G0.00	PROJECT INFO & CODE SUMMARY
A0.10	GRAPHIC LEGEND & ABBREVIATIONS
A0.11	GENERAL CONDITIONS
A1.10	SITE PLAN & CALCULATIONS
A1.11	EXISTING PHOTOGRAPHS
A2.01	3D RENDERINGS
A2.02	3D RENDERINGS
A2.11	FOUNDATION LAYOUT PLAN
A2.12	FLOOR PLAN - INFORMATION
A2.51	FLOOR PLAN: LIGHTING & POWER
A2.61	ROOF PLAN LAYOUT
A3.11	BUILDING ELEVATIONS
A3.12	BUILDING ELEVATIONS
A3.13	BUILDING ELEVATIONS



SET NO.



PERMIT DRAWINGS

Wednesday, April 28, 2021

Master Suite Addition for Lee Ann Calaway

1008 Walnut Street • Bastrop, Texas 78602



A	Air Conditioning	M	Maximum
ACP	Asphaltic Concrete Paving	MECH	Mechanical
AFF	Above Finish Floor	MEMB	Membrane
ALT.	Alternate	M.F.	Manufacturer Finish
ARCH	Architect(ural)	MFR	Manufacturer
B	Building	MIN	Minimum
BLDG	Building	M.O.	Masonry Opening
C	Control Joint	MTL	Metal
CLG	Ceiling	N	New
CLR	Clear	(N)	New
COL.	Column	NIC	Not in Contract
CONC	Concrete	NOM	Nominal
CONT	Continuous	NTS	Not To Scale
CPT	Carpet	O	On Center
C.T.	Ceramic Tile	O.C.	On Center
D	Drinking Fountain	O.D.	Outside Diameter
DIA	Diameter	O.H.	Opposite Hand
D.S.	Downspout	OPG	Opening
DTL	Detail	OPP	Opposite
DWG	Drawing	P	Paint
E	Existing	(P)	Paint
EA	Each	PR	Pair
EJ	Expansion Joint	PWD	Plywood
ELEC	Electrical	Q	Quarry Tile
EL	Elevation	R	Riser
EQ	Equal	R	Riser
EQPM	Equipment	(R)	Remove
EWC	Electric Water Cooler	Re:	Refer (to)
EXT.	Exterior	REQD	Required
F	Floor Drain	RENF	Reinforced
F.D.	Floor Drain	R.D.	Roof Drain
FDN	Foundation	R.O.	Rough Opening
F.E.	Fire Extinguisher	S	Solid Core
F.F.	Finish Floor	SC	Solid Core
FUR	Furring	SF	Square Foot
G	Gauge or Gage	SIM	Similar
GA	Gauge or Gage	SPEC	Specifications
GALV	Galvanized	SST	Stainless Steel
GC	General Contractor	STD	Standard
GWB	Gypsum Wall Board	STL	Steel
GWB-MR	GWB Moisture Resistant	STRUC	Structural
GWB-X	GWB Fire Rated "X"	SUSP.	Suspended
H	Hose Bib	I	Tread
H.B.	Hose Bib	T	Tread
HDWR	Hardware	T.O.B.	Top of Beam - Steel
HORZ	Horizontal	T.O.C.	Top of Concrete
HT	Height	T.O.W.	Top of Wall
I	Inside Diameter	TYP	Typical
I.D.	Inside Diameter	U	Underwriters Laboratory
INSUL	Insulation	UL	Underwriters Laboratory
INT	Interior	UNO	Unless Noted Otherwise
J	Janitor	V	Vinyl Composition Tile
JAN.	Janitor	VCT	Vinyl Composition Tile
JT	Joint	VER	Vertical
L	Lavatory	VWC	Vinyl Wall Covering
LAV	Lavatory	W	With
LAM	Laminate	W/	With
		WR	Water Resistant
		WWF	Welded Wire Fabric

Drawing Symbols & Graphic Legend

SECTION MARKER: # SHEET

BUILDING ELEVATION MARKER & INTERIOR ELEVATION MARKER: ## SHEET, 12/A5.0

NORTH ARROW INDICATOR: Circle with vertical line

REVISION NUMBER: #

DOOR TYPE & WINDOW SYMBOL: D5, W1

WINDOW TYPE & WINDOW SYMBOL: W1

WINDOW TYPE & WINDOW SYMBOL (TRANSOM OR CLERESTORY WINDOW): W3

STRUCTURAL GRIDLINE: G

KEYED NOTE: 09.01

DETAIL BUBBLE - SEE LARGER PLAN / DRAWING: 5 A4.0

STANDARD DIMENSION INDICATOR: 6'-5 1/2" F.V.

BREAKLINE INDICATOR: Zigzag line

FLOOR LEVEL ELEVATION MARKER: Circle with crosshair

MATCH LINE: SEE DETAIL ## / SHEET ##

Power + Lighting Graphic Legend & Installation Notes

⚡	SWITCH	⚡ ^{STPO}	SWITCH TOP POLE ONLY		CEILING FAN WITH LIGHT KIT	<ol style="list-style-type: none"> ALL OUTLETS TO BE 18" AFF, U.N.O. ALL SWITCHES TO BE 48" AFF, U.N.O. THERMOSTAT TO BE SET AT 60" AFF. CHIMES TO BE SET AT 84" AFF. ALL PHONE, DATA, TV, HOME THEATER, VIDEO PREWIRE LOCATIONS PER OWNER/LOW VOLTAGE CONTRACTOR, UNLESS NOTED OTHERWISE.
⚡ ³	3-POLE SWITCH	⚡	120V RECEPTACLE		CEILING FAN	
⚡ ⁴	4-POLE SWITCH	⚡ ^{220v}	220V RECEPTACLE		QUAD-PLEX OUTLET	
⊕	LIGHT FIXTURE (SEE SCHEDULE)	⊕ ^{GFI}	GROUND FAULT INTERRUPTOR		DEDICATED CKT.	
⊕ ^{HD}	HEAT DETECTOR / ALARM	⊕ ^{WP-GFI}	WEATHER PROOF W/ G.F.I.		FLOOR OUTLET (BOX)	
SD	SMOKE DETECTOR	⊕ ^S	GARAGE DOOR SENSOR		HVAC "SIDEWALL" REGISTER	
	CHIMES	⊕ ^{CM}	CARBON MONOXIDE DETECTOR / ALARM		HVAC "SUPPLY" REGISTER	
⊕ ^{PB}	PUSH BUTTON	CATV	HOME OFFICE WIRING		HVAC "RETURN" REGISTER	
⊕	PHONE JACK	SDCM	SMOKE DETECTOR & CARBON MONOXIDE DETECTOR ALARM (HARD WIRED)			
⊕	DATA DROP	⊕	WATER FOR EQUIPMENT			
⊕	GAS	⊕	THERMOSTAT			
⊕ ^{HB}	HOSE BIB	⊕	EXHAUST FAN (NO LIGHT)			
⊕	WASHER BOX					

Master Suite Addition for Lee Ann Calaway

1008 Walnut Street • Bastrop, Texas 78602



DATE OF SEAL #27374 EXPIRES
4/28/2021 4/30/2022

1. THESE CONSTRUCTION DOCUMENTS HAVE BEEN DESIGNED TO MEET CURRENTLY ADOPTED BUILDING CODE AND LOCAL CITY AMMENDMENTS. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
2. BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE **ARCHITECT**, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
3. THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS HAS JURISDICTION OVER COMPLAINTS REGARDING THE PROFESSIONAL PRACTICES OF PERSONS REGISTERED AS ARCHITECTS IN TEXAS. THEY MAY BE CONTACTED AT 333 GUADALUPE STREET, SUITE 2-350, AUSTIN TX 78701 OR AT 512-305-9000.
4. THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE **ARCHITECT** WHETHER THE PROJECT IS BUILT OR NOT. THESE DRAWINGS MAY NOT BE SOLD AND SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT WRITTEN PERMISSION OF THE **ARCHITECT**.
5. THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. BUILDER ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED. ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES.
6. **ARCHITECT** IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. BUILDER WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANIC, ELECTRICAL AND PLUMBING SYSTEMS.
7. ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT, IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY. BUILDER TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR ON THE PLANS.
8. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE BUILDER IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
9. ALL DIMENSIONS SHOWN ON PLANS ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. BUILDER TO REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE **ARCHITECT** PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE **ARCHITECT**.
10. THE BUILDER IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
11. BUILDER SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. REMOVE MATERIALS TO APPROVED DUMP SITES ONLY.
12. PENETRATIONS TO FIRE RATED MATERIALS (IF ANY) OR ASSEMBLIES SHALL BE RESTORED TO EQUAL RATING. FIRE STOP SYSTEMS AS LISTED BY U.L. DESIGN SHALL BE INSTALLED PER FIRE RESISTANCE DIRECTORY, AS FOLLOWS:

(a) STUD WALLS - UL No. 147 (b) MASONRY WALLS - UL No. - 180/390
13. LOCATIONS OF ALL UTILITIES ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AND TRENCHING ON THE SITE TO AVIOD INTERCEPTING EXISTING PIPING OR CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE **ARCHITECT** IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE **ARCHITECT** SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE SCOPE OF THIS PROJECT, UNLESS NOTED OTHERWISE.
14. CONFINE ALL OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER. THE WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LAWS, LOCAL ORDINANCES, PERMITS, AND THE CONTRACT DOCUMENTS. THE JOB SITE IS TO BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE FROM DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIAL OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS.
15. ALL MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USED. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
16. ALL CUTTING FITTING, OR PATCHING THAT MAY BE REQUIRED TO MAKE SEVERAL PARTS FIT TOGETHER PROPERLY SHALL BE DONE SO AS NOT TO ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED, IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
17. PROVIDE ALL NECESSARY OPENINGS THROUGH FLOORS AND WALLS, BLOCKING, BACKING, ROUGH BUCKS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND FRAMING FOR LIGHT FIXTURES, ELECTRIC UNITS, A/C EQUIPMENT AND ALL OTHER ITEMS REQUIRING IT TO ENSURE A COMPLETE AND PROPER INSTALLATION OF SURFACE MOUNTED AND RECESSED ITEMS.
18. WHERE LARGER STUDS OR FURRING IS REQUIRED TO COVER STRUCTURE, DUCTS, PIPING OR CONDUIT, THE LARGER STUD SIZE FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS, UNLESS NOTED OTHERWISE.
19. VENT ALL BATHROOM AND KITCHEN FANS TO OUTSIDE ATMOSPHERE. BATHROOM & KITCHEN FANS SHALL BE CAPABLE OF FIVE (5) AIR CHANGES PER HOUR AND SHALL BE VENTED DIRECTLY OUTSIDE THE BUILDING ENVELOPE VIA SMOOTH, RIGID, NON-CORROSIVE 24 GAUGE METAL DUCTWORK.

Master Suite Addition for Lee Ann Calaway

1008 Walnut Street • Bastrop, Texas 78602



Ul Ricardo Serina

DATE OF SEAL #27374 EXPIRES
4/28/2021 4/30/2022

Area Description	Existing Sq.Ft.	New Sq.Ft.	Total Sq.Ft.
a. 1st Floor			
b. 2nd Floor			
c. 3rd Floor			
d. Basement			
e. Cvr'd Parking (Attached)			
f. Cvr'd Parking (Detached)			
g. Cvr'd Wood Deck(s) @ 100%			
h. Cvr'd Patio			
i. Cvr'd Porch			
j. Balcony			
k. Other - Specify			

Total Building Area (a thru k)
Total Building Coverage (less b,c,d, and j)

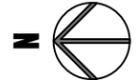
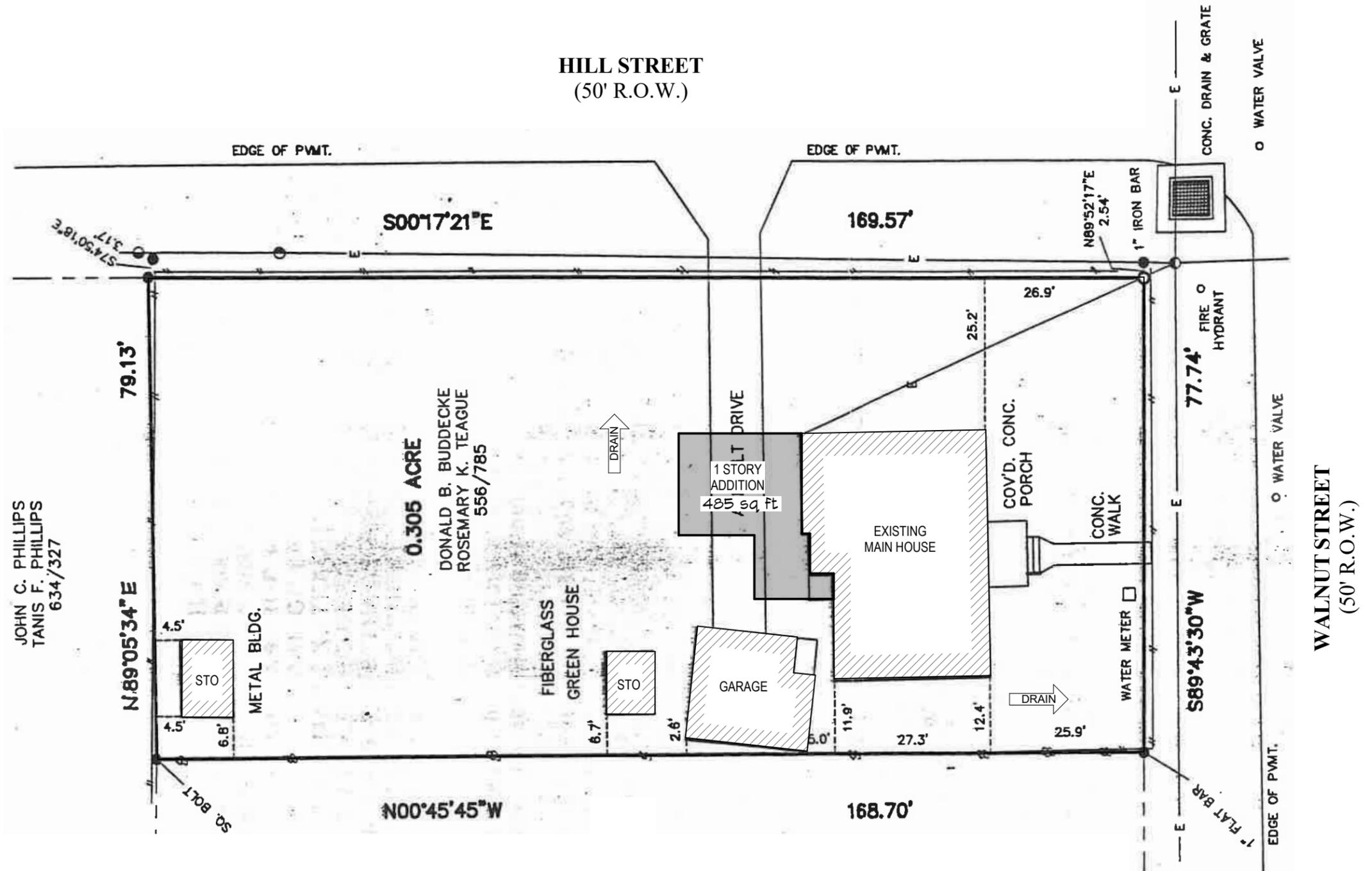
l. Driveway		
m. Sidewalks		
n. Uncvr'd Patio		
o. Uncvr'd Wood Deck(s) @ 50%		
p. AC Pad(s) / Flatwork		
q. Other (i.e., retain'g walls)		
Total Site Impervious Coverage (TBC + l thru q)	<input type="checkbox"/>	<input type="checkbox"/>
r. Pool		
s. Spa		

Building Coverage Information

A. Lot Area (sq.ft.):	
B. Existing Building Coverage:	
C. Existing Coverage % of Lot (B / A x 100):	<input type="checkbox"/>
D. Final Building Coverage:	
E. Final Coverage % of Lot (D / A x 100):	<input type="checkbox"/>

Impervious Cover Information

F. Existing Impervious Coverage:	
G. Existing Coverage % of Lot (F / A x 100):	<input type="checkbox"/>
H. Final Impervious Coverage:	
I. Final Coverage % of Lot (H / A x 100):	<input type="checkbox"/>



Master Suite Addition for Lee Ann Calaway

1008 Walnut Street • Bastrop, Texas 78602



DATE OF SEAL #27374 EXPIRES
4/28/2021 4/30/2022

Scope of Work - Keyed Notes:

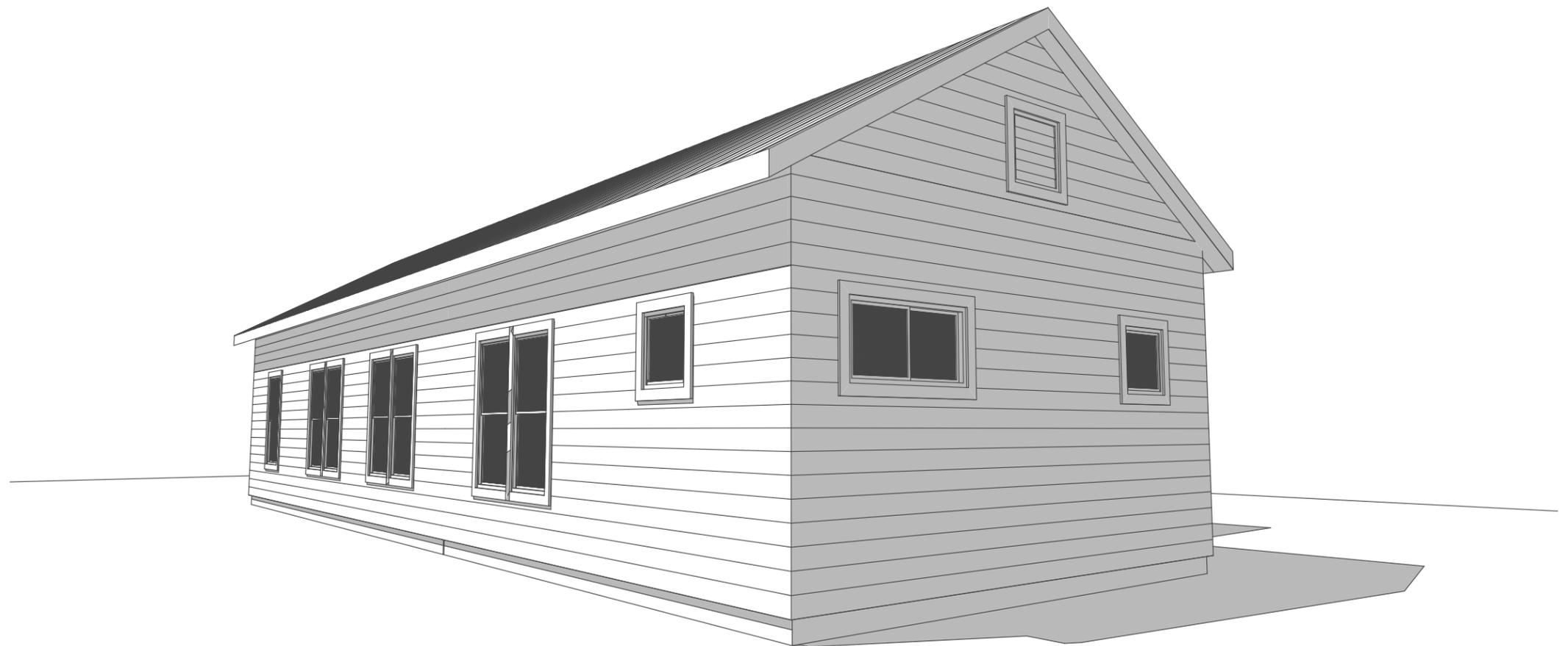


Master Suite Addition for Lee Ann Calaway

1008 Walnut Street • Bastrop, Texas 78602



DATE OF SEAL #27374 EXPIRES
4/28/2021 4/30/2022

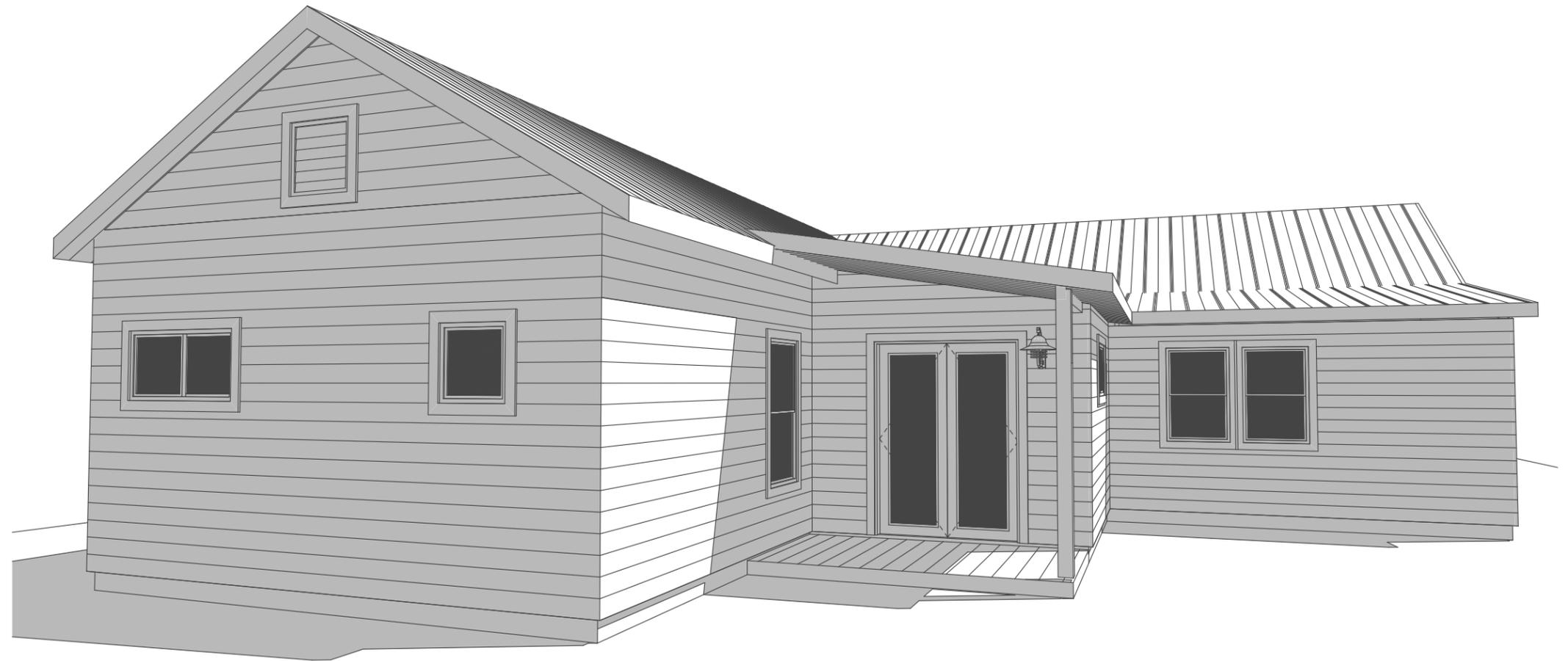


Master Suite Addition for Lee Ann Calaway

1008 Walnut Street • Bastrop, Texas 78602

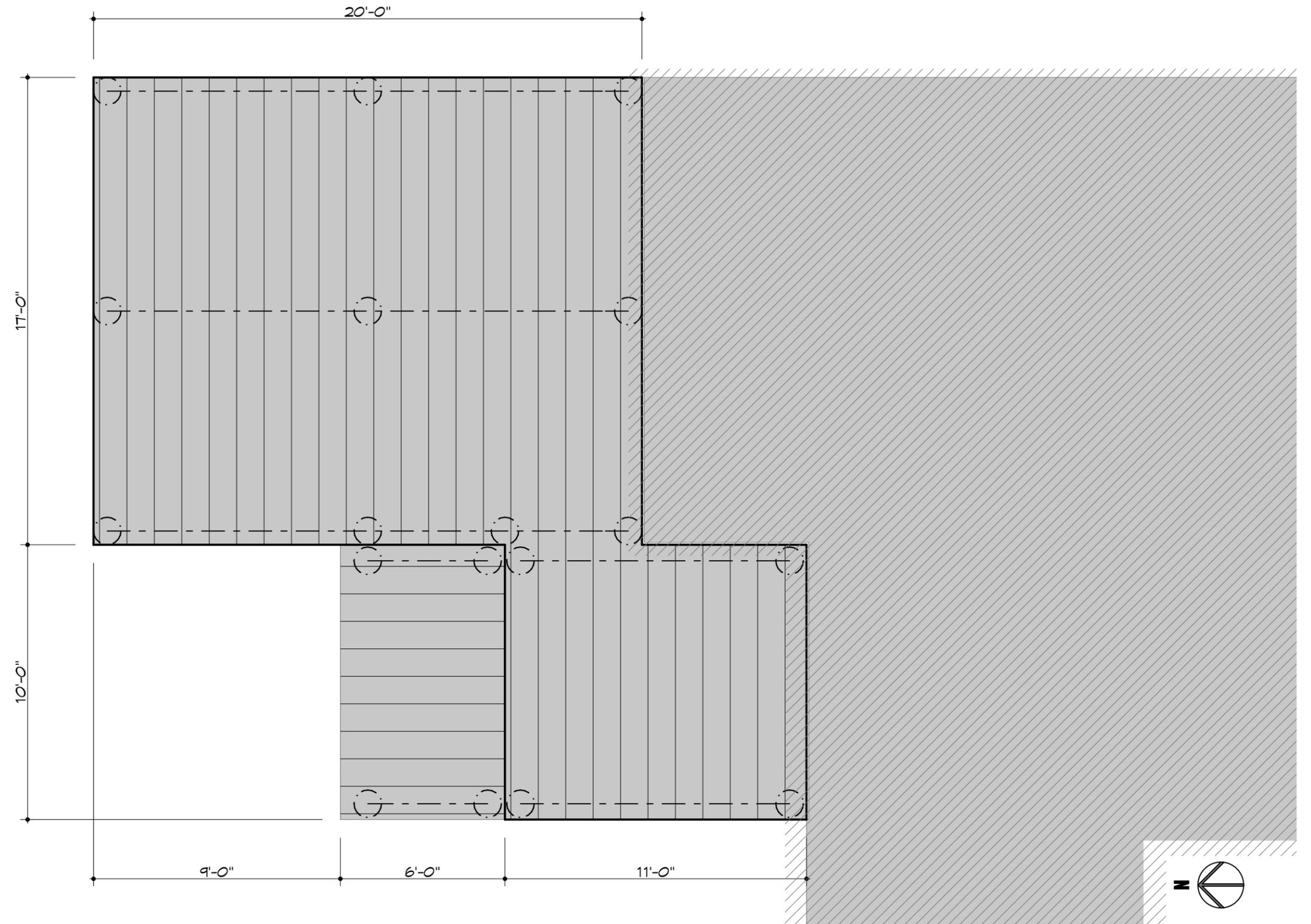
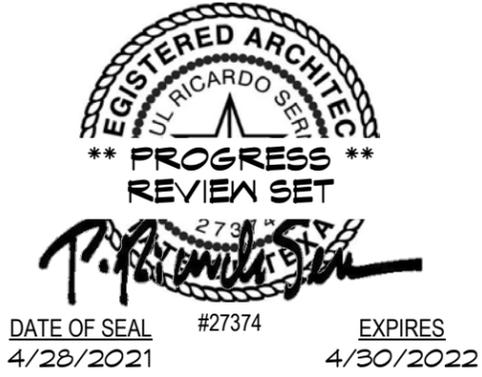


DATE OF SEAL #27374 EXPIRES
4/28/2021 4/30/2022



Master Suite Addition for Lee Ann Calaway

1008 Walnut Street • Bastrop, Texas 78602



Master Suite Addition for Lee Ann Calaway

1008 Walnut Street • Bastrop, Texas 78602



R. Serna

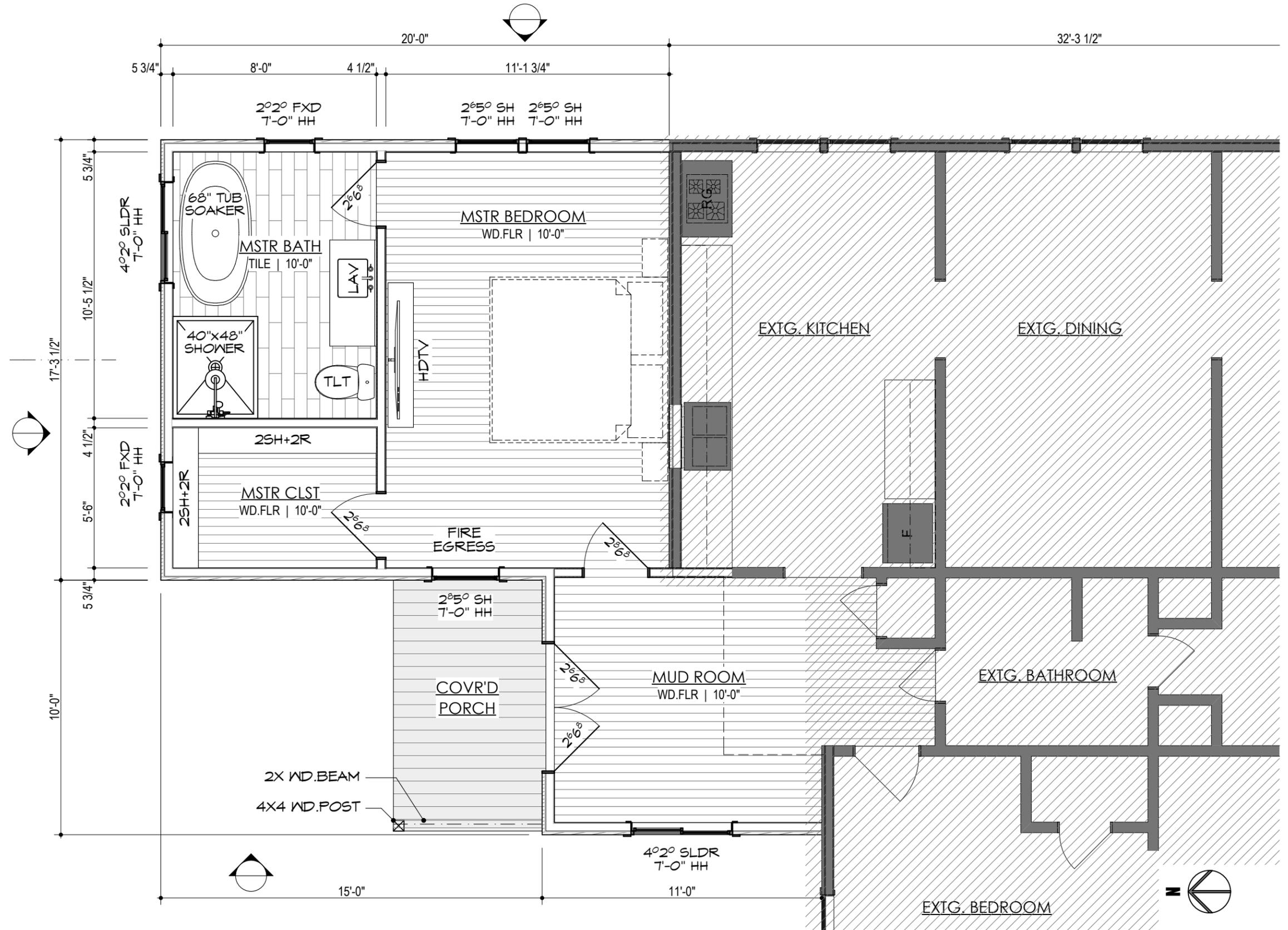
DATE OF SEAL #27374 EXPIRES
4/28/2021 4/30/2022

Floor Plan - Information Notes:

1. WINDOW SIZES INDICATED ON PLANS ARE GENERIC SASH SIZES; WINDOW SCHEDULE (IF AVAILABLE) GOVERNS.
2. REFER TO PLANS & EXTERIOR ELEVATIONS FOR WINDOW TYPES. COORDINATE OPERABILITY OF WINDOWS & DIRECTION OF SWING OF CASEMENTS WITH ARCHITECT.
3. WALLS, CEILINGS & FLOORS OF ANCILLARY SPACES SUCH AS CLOSETS & STORAGE AREAS SHALL MATCH THE ROOMS THEY SERVE UNLESS NOTED OTHERWISE.
4. MOISTURE RESISTANT GYP.BD SHALL BE USED IN RESTROOMS & ROOMS WHERE WATER IS PRESENT.
5. BUILDER SHALL COORDINATE ALL SHELVING & STORAGE REQUIREMENTS WITH OWNER.
6. SPRINKLE BORIC ACID ONTO BOTTOM OF PLATE OR INTO BOTTOM TRACK AT A RATE OF 1/8 CUP PER 2 FEET OF PLATE, EXCEPT 1/4 CUP PER PLATE IN WALLS ADJACENT TO KITCHEN, BATH OR OTHER WET/FOOD STORAGE AREAS. BORIC ACID SHALL BE INSTALLED IMMEDIATELY BEFORE INSTALLATION OF SHEETROCK.
7. PREFABRICATED FIREPLACES AND FLUES SHALL BE U.L. APPROVED AND INSTALLED AS PER THE MANUFACTURE'S SPECIFICATIONS AND ACCEPTED CONSTRUCTION PRACTICES. IT IS THE BUILDER'S RESPONSIBILITY TO ASSURE THAT ALL APPLICABLE CODES REGARDING FIRE SEPARATION, USE OF MATERIALS & OTHER FIREPLACE CRITERIA ARE MET OR EXCEEDED. BUILDER SHALL COORDINATE FLUE HEIGHT TO MATCH CHIMNEY HEIGHT SHOWN ON ELEVATIONS.
8. CENTER PLUMBING FIXTURES IN SPACE PROVIDED UNLESS NOTED OTHERWISE. PROVIDE NOT LESS THAN THE FOLLOWING CLEARANCES FROM FINISH WALL TO FIXTURE ON EITHER SIDE:
A. LAVATORY: 15"
B. TOILET: 18"

LIFE SAFETY CODE COMPLIANCE:
Provide Smoke Detector System - Hard wired, interconnected, battery backup, at each sleeping room and vicinity, if applicable as well on each additional story within the dwelling unit including basements (I.R.C. Sec. R314).

Provide Approved Carbon Monoxide Alarm - To be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached Garages (I.R.C. Sec. R315.1).





R. Serna

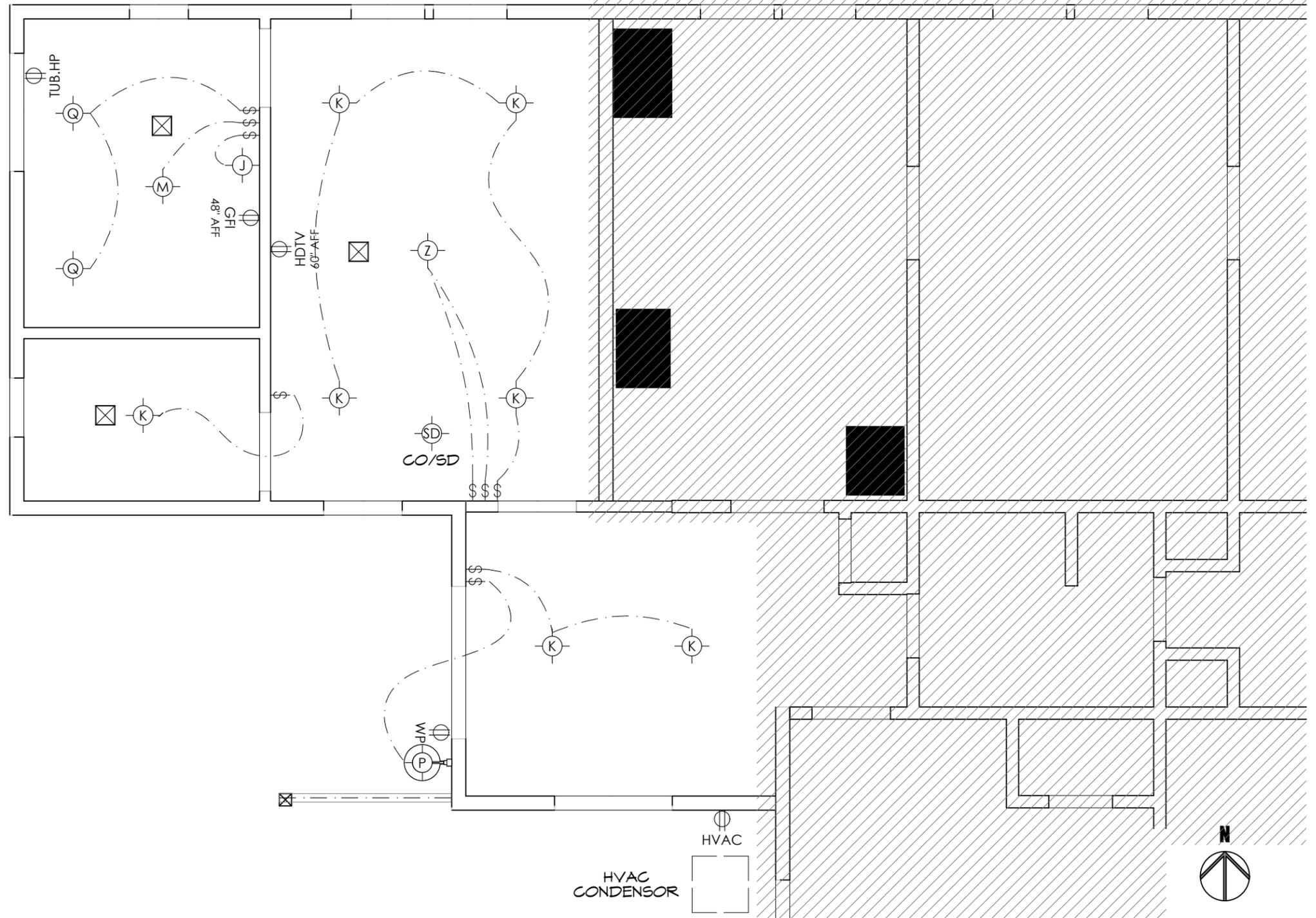
DATE OF SEAL #27374 EXPIRES
 4/28/2021 4/30/2022

LIGHT FIXTURE SCHEDULE

ID#	FIXTURE TYPE, NOTES, & LAMP INFO
A	CEILING MOUNTED TYPE FIXTURE, 60W CFL
B	PORCLN. SOCKET, EXPOSED BULB
C	CEILING MOUNTED, ENCLOSED
D	HANGING PENDANT TYPE FIXTURE, MR-16
E	2X4 FLOURESCENT, (4) 40W BULBS
F	EXTERIOR WALL MOUNTED BRACKET, 7'-0" AFF
G	J-BOX FOR GARAGE DOOR SYSTEM
H	VANITY LTG., (4) BULB STRIP, 7'-0" AFF, LED DIMMABLE
J	VANITY LTG., (3) BULB STRIP, 7'-0" AFF, LED DIMMABLE
K	RECESSED, 4" MINI-CAN, LED DIMMABLE
L	48" LED SHOP LIGHT; SUSPENDED, 5500K LED (LINKABLE)
M	RECESSED; 6" LED/EXHST.FAN LTG COMBO
N	WALL WASHER FIXTURE
P	OUTDOOR PORCH LIGHT; 84" AFF, LED LAMP
Q	WATERPROOF, RECESSED CAN
R	1X4 FLOUR. FIXTURE; 2-40W BULBS
S	EXTERIOR RECESSED CAN (WP)
T	INTERIOR WALL MTD., SCONCE @ 7'-4" AFF
U	CHANDELIER FIXTURE
V	EXHAUST FAN
W	EXHAUST FAN / HEAT COMBO
X	EXHAUST FAN / HEAT / LED LIGHT COMBO
Y	52" CEILING FAN (NO LIGHT KIT)
Z	52" CEILING FAN WITH LIGHT KIT (DIMMABLE LED)

LIFE SAFETY CODE COMPLIANCE:
 Provide Smoke Detector System - Hard wired, interconnected, battery backup, at each sleeping room and vicinity, if applicable as well on each additional story within the dwelling unit including basements (I.R.C, Sec. R314).

Provide Approved Carbon Monoxide Alarm - To be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached Garages (I.R.C, Sec. R315.1).



Master Suite Addition for Lee Ann Calaway

1008 Walnut Street • Bastrop, Texas 78602



**** PROGRESS ****
REVIEW SET

Ul Ricardo Serna

DATE OF SEAL #27374 EXPIRES
4/28/2021 4/30/2022

ATTIC VENTILATION (AUS/S.A.)

50% BY SOFFIT VENTS
50% BY ROOF VENTILATION
RIDGE VENTS ARE STANDARD LAYOUT W/ AIRHAWKS (SOLID) AS SUPPLEMENTAL VENTING, (IF REQUIRED). DASHED AIRHAWKS ARE OPTIONAL LAYOUT IN LIEU OF RIDGE VENTS. SOLID AIRHAWKS TO BE COUNTED FOR BOTH LAYOUTS.

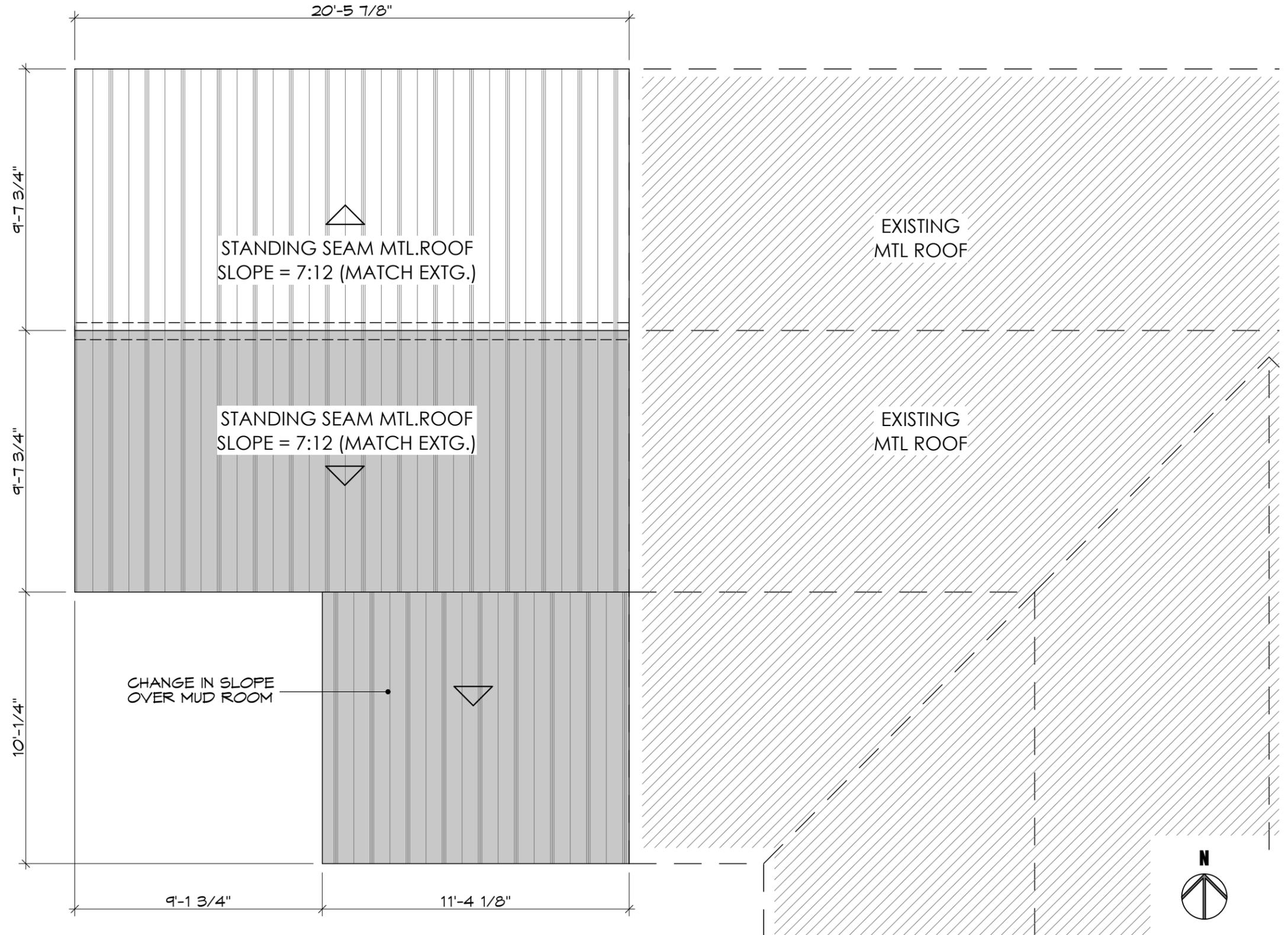
LEGEND:

- 12' RIDGEVENT, NUMBER INDICATES LENGTH CALCULATED
- ⊕ V144 AIRHAWK
- ⊕ V144 AIRHAWK FOR OPTION
- ⊗ V50 AIRHAWK
- ⊗ V50 AIRHAWK FOR OPTION

ROOF NOTES

- 1.) ALL ROOF SLOPES TO BE 8:12 & 12:12 UNLESS NOTED OTHERWISE.
- 2.) OVERHANG TO BE 1'-6" FROM EXTERIOR FACE OF STUD @ 8:12 & 1'-0" @ 12:12.
- 3.) EXTEND OVERHANG @ GABLE RAKES TO 2'-0" FROM EXTERIOR FACE OF STUD.
- 4.) ARROWS INDICATE DRAINAGE.
- 5.) NOTE: ALL RAFTERS TO BE 2X6'S @ 24" O.C., #2 U.N.O.
- 6.) ANY SLOPE UNDER 4:12 PITCH REQUIRES DOUBLE UNDERLAYMENT.

ROOF/SOFFIT VENTILATION CALC:	
ATTIC ROOF AREA =	4088 SQ.FT.
REQUIRED	
TOTAL ATTIC VENTING =	4114 SQ.FT. x 1/300= 1975 s.l.
MAIN ROOF VENTING =	4114 SQ.FT. x 1/600= 988 s.l.
SOFFIT VENTING =	4114 SQ.FT. x 1/600= 988 s.l.
PROVIDE	
56 L.F. OF RIDGE VENT @ 18 s.l./L.F. =	1008
-- OR --	
2 [61 s.l.] AIR HAWKS =	122
6 [150 s.l.] AIR HAWKS =	900

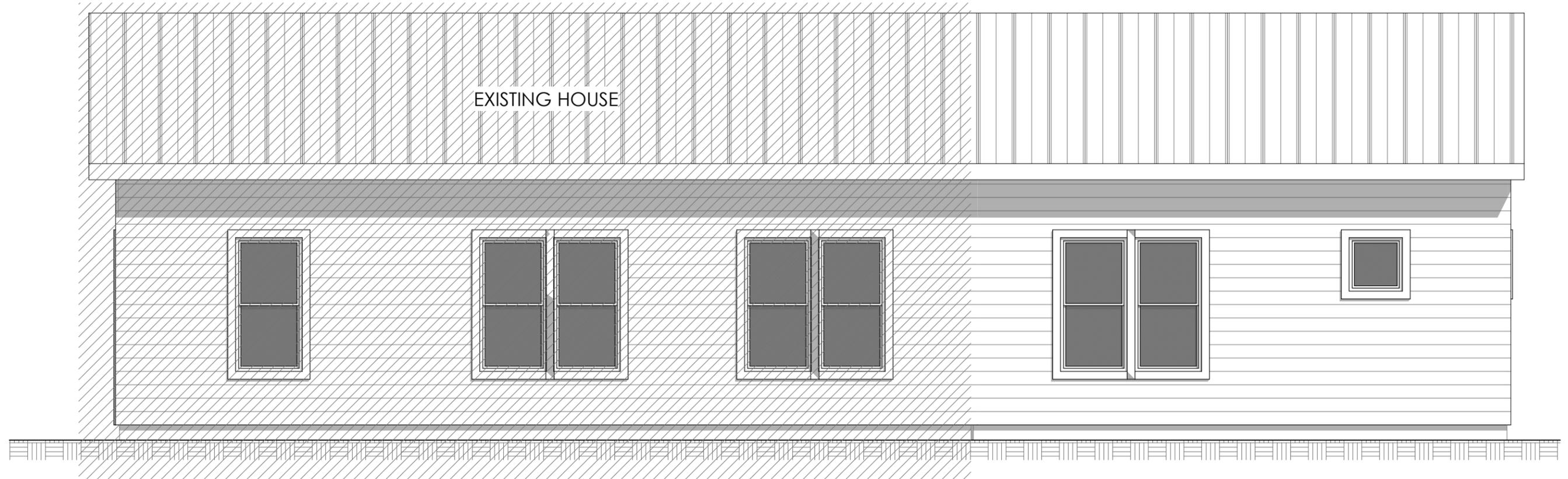


Master Suite Addition for Lee Ann Calaway

1008 Walnut Street • Bastrop, Texas 78602



DATE OF SEAL #27374 EXPIRES
4/28/2021 4/30/2022



Master Suite Addition for Lee Ann Calaway

1008 Walnut Street • Bastrop, Texas 78602



DATE OF SEAL 4/28/2021 #27374 EXPIRES 4/30/2022



Master Suite Addition for Lee Ann Calaway

1008 Walnut Street • Bastrop, Texas 78602



DATE OF SEAL #27374 EXPIRES
4/28/2021 4/30/2022

