

RESOLUTION NO. R-2025-183

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BASTROP, TEXAS APPROVING A WAIVER FOR ALTERNATE DRAINAGE STANDARDS FOR A WIRELESS TELECOMMUNICATIONS FACILITY ON THE LONG TRACT, LOCATED AT 206 LOVERS LANE, WITHIN THE CITY LIMITS OF THE CITY OF BASTROP; PROVIDING FOR SEVERABILITY; PROVIDING FOR REPEAL; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Bastrop Code of Ordinances Section 16 Stormwater Drainage allows the City Council to approve exceptions or waivers, and

WHEREAS, the applicant for a wireless telecommunications facility on the Long Tract, located at 206 Lovers Lane, within the city limits of the City of Bastrop has requested a waiver to the requirement of a Letter of Map Revision (LOMR); and

WHEREAS, the Development Review Committee recommended approval of the waiver on October 9, 2025, due to the following criteria: A. the site plan provided shows equipment pads located on natural high ground at 356' while the BFE is at 352' and B. the communication infrastructure is a non-habitable development, and the relative impact would be negligible; and

WHEREAS, the City Council finds that approval of the waiver is consistent with the intent and purpose of the Stormwater Drainage Ordinance.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BASTROP, TEXAS:

Section 1. The City Council approves and authorizes the execution of the waiver for alternate drainage standards, as attached in Exhibit A.

Section 2. This resolution shall take effect immediately from and after its passage, and it is duly resolved.

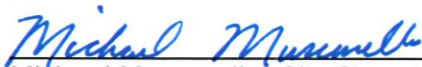
DULY RESOLVED AND ADOPTED by the City Council of the City of Bastrop this 21st day of October 2025.

APPROVED:



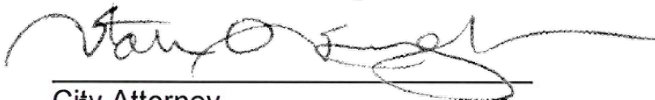
Ishmael Harris, Mayor

ATTEST:



Michael Muscarello, City Secretary

APPROVED AS TO FORM:



City Attorney

Denton Navarro Rocha Bernal & Zech, P.C.





VINCENT GERARD & ASSOCIATES, INC.

Mr. James Cowey
Development Services Director,
Bastrop Texas

Sept. 30th, 2025

RE: Alternate Drainage Standards for Vertical Bridge & Primary Carrier - AT&T Mobility, Long Tract, Lovers Lane, Bastrop Texas

Mr. Cowey,

This project consists of an unoccupied structure that is being constructed above a FEMA studied floodplain (flood zone AE) located along the banks of an existing creek with conveyance to Colorado River and we find no adverse impacts to grant this waiver. All runoff is conveyed to the Colorado River unimpeded with no structures along this route.

1. The granting of the exception or waiver will not be detrimental to the public safety, health, or welfare, and will not be injurious to other property;

Response: *This land use is not open to the public and will have little to no impact on existing drainage conditions. The property is owned by the Landowner all the way to the creek so no safety, health and welfare or concerns of injury. The remaining parcel is agricultural.*

2. The conditions upon which the request is based are unique to the property for which the relief is sought and are not applicable generally to other property;

Response: *Yes, this tract is extremely unique, remains as an undeveloped agricultural tract and shows no probability of concerns downstream. Conveyance is unimpeded. This is a small unmanned facility that will not significantly affect the current drainage conditions of the property.*

3. Because of the location or conditions affecting the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out;

Response: *Since this facility is unmanned, and the footprint is very small, the full intent for drainage and detention study would be a costly inconvenience to the property owner. An engineered drainage study would be a hardship and unnecessary and would show no adverse impacts.*

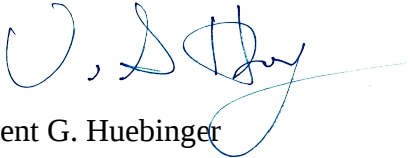
4. The relief sought will not materially alter the provisions of any existing regional stormwater management plan except that the plan may be amended in the manner prescribed by law; and

Response: *This will not materially alter the existing regional storm water plan.*

5. The granting of the exception or waiver will not result in a violation of state or federal laws or permits.

Response: *This exception/waiver will not violate state or federal laws.*

Sincerely

A handwritten signature in blue ink, appearing to read 'V. G. Huebinger', with a long horizontal flourish extending to the right.

Vincent G. Huebinger

Xc; *Collin Harvell Vertical Bridge*
Audra White – AT&T Mobility



(HEREINAFTER REFERRED TO AS "OWNER")

AT&T SITE ID: ROSCOE
AT&T FA NUMBER: 15055406
VERTICAL BRIDGE SITE NUMBER: US-TX-6245
VERTICAL BRIDGE SITE NAME: BASTROP MIDDLE SCHOOL
AT&T PACE NUMBER: MRSTX059580
AT&T PROJECT NUMBER: 3059A0RBKH
AT&T IWM NUMBER: WSSTX0014326



(HEREINAFTER REFERRED TO AS "NEW LESSEE")



THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

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PROJECT SUMMARY

SITE NAME:
SITE NUMBER:

BASTROP MIDDLE SCHOOL
US-TX-6245

SITE ADDRESS:
(NOT E911 VERIFIED)

LOVER'S LANE
BASTROP, TX 78602

COUNTY:

BASTROP

JURISDICTION:

CITY OF BASTROP

ZONING:

N/A

PROPERTY OWNER:

L & L RANCH, LLC.
201 HILL ST
BASTROP, TX 78602

CONTACT:
PHONE:

ROBERT LONG JR.
(512) 848-3332

STRUCTURE OWNER:

VERTICAL BRIDGE 500, LLC.
750 PARK OF COMMERCE DR., SUITE 200
BOCA RATON, FL 33487

CONTACT:
PHONE:

DAVE SMITH
(615) 636-9495

LESSEE:
ATTENTION:
PHONE:

AT&T
AUDRA WHITE
(832) 270-3808

LESSEE SITE NAME:
FA NUMBER:

BASTROP MIDDLE SCHOOL
15055406

1A SITE COORDINATES:
LATITUDE:
LONGITUDE:
ELEVATION:

30° 06' 09.55" N (NAD83) ; (30.102653°)
-97° 18' 51.02" W (NAD83) ; (-97.314172°)
355.4' AMSL (NAVD88)

OCCUPANCY:

UNMANNED

SITE TYPE:
TOWER TYPE:
TOWER HEIGHT:
LESSEE ACL:

RAWLAND
MONOPOLE
118'-0"
113'-0"

POWER COMPANY:

BASTROP POWER & LIGHT

FIBER:

AT&T

POLICE DEPARTMENT:
PHONE:

BASTROP COUNTY SHERIFF'S OFFICE
(512) 303-1080

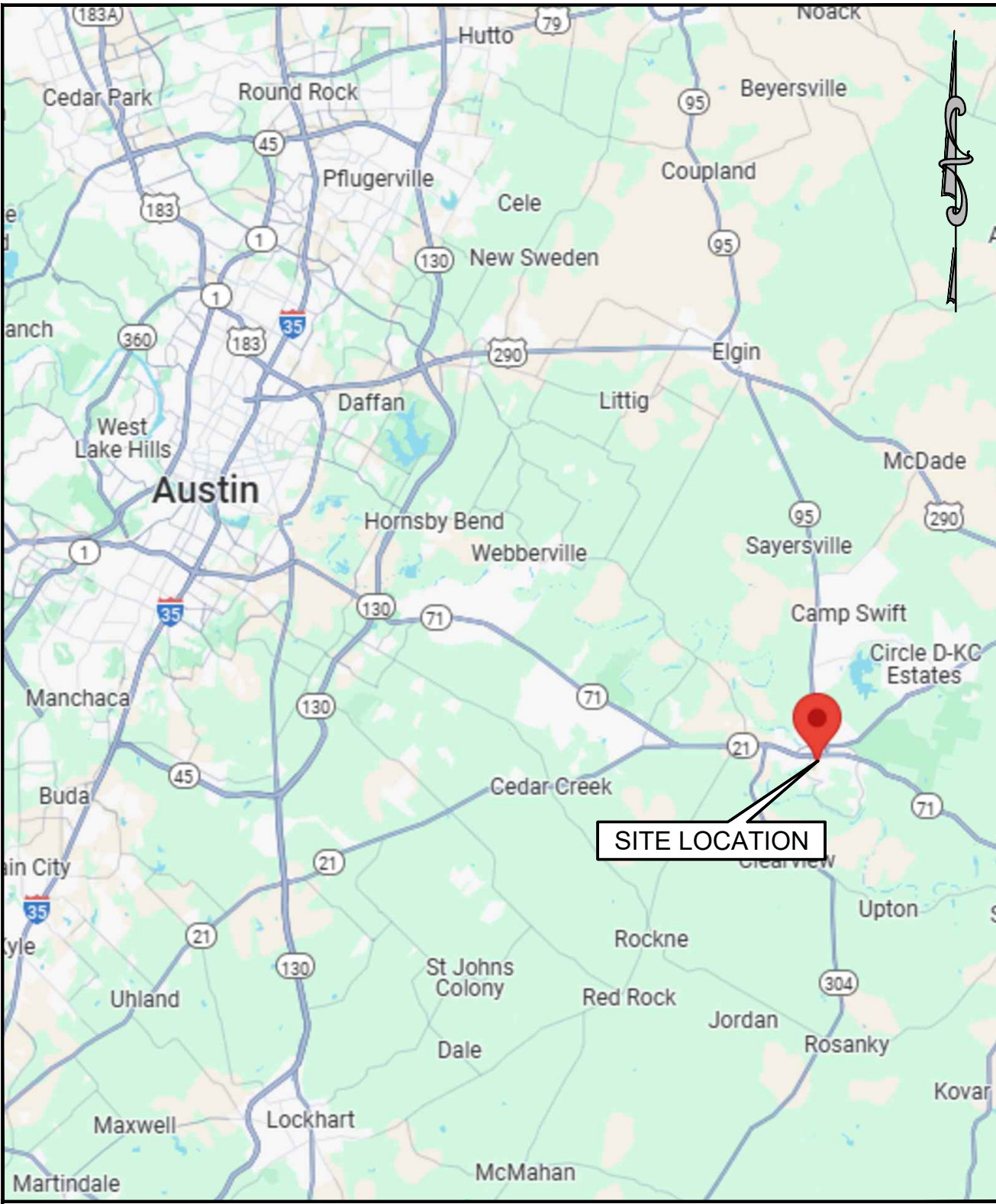
FIRE DEPARTMENT:
PHONE:

BASTROP FIRE DEPARTMENT
(512) 332-8670

PROJECT ENGINEER:
CONTACT:
PHONE:

GEN7 ENGINEERING, LLC.
STEPHEN M. CARPENTER, P.E.
(423) 838-2830

LOCATION MAP



SCALE: 1" = 5 MILES

SHEET INDEX

C-001	TITLE SHEET
C-002 THRU C-003	GENERAL NOTES
LS-001 THRU LS-003	LAND SURVEY
C-101	OVERALL SITE LAYOUT PLAN
C-102	SITE LAYOUT PLAN
C-200	EROSION NOTES
C-201	SITE GRADING PLAN
C-202	SITE DRAINAGE PLAN
C-203	DRIVEWAY PROFILE
C-301 THRU C-302	SITE DETAILS
ATTACHED	VG&A SITE EXHIBITS (FOR REFERENCE)
ATTACHED	EQUIPMENT SPECIFICATIONS



CALL TEXAS ONE CALL
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CALL 3 WORKING DAYS
BEFORE YOU DIG!



BASTROP FIRE DEPARTMENT

FIRE DESIGN CODES	INTERNATIONAL FIRE CODE 2018 EDITION WITH ADOPTED APPENDICES
FIRE FLOW DEMAND @ 20 PSI (GPM)	1,000 GPM
INTENDED USE	TELECOMMUNICATION TOWER SITE
CONSTRUCTION CLASSIFICATION	DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH TIA 222
BUILDING FIRE AREA (S.F.)	2,500 SQ. FT. (FENCED COMPOUND AREA)
AUTOMATIC FIRE SPRINKLER SYSTEM (IF APPLICABLE)	N/A
REDUCED FIRE FLOW DEMAND @ 20 PSI FOR HAVING A SPRINKLER SYSTEM (GPM) (IF APPLICABLE)	N/A
FIRE HYDRANT FLOW TEST DATE	TBD
FIRE HYDRANT FLOW TEST LOCATION	EXISTING FIRE HYDRANT WITHIN 250' OF SITE - SEE SHEET C-101
ALTERNATIVE METHOD OF COMPLIANCE AMOC (IF APPLICABLE)	N/A

OWNER'S SIGNATURE BLOCK

AS OWNER OF THIS PROPERTY, I PROMISE TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN

NAME OF OWNER / TRUSTEE

DATE

NAME OF TOWER OWNER REPRESENTATIVE

DATE

CITY APPROVAL SIGNATURE BLOCK

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:

DIRECTOR OF PLANNING AND DEVELOPMENT

DATE

CITY OF BASTROP ENGINEER

DATE

CITY OF BASTROP FIRE DEPARTMENT

DATE

SIGNED AND SEALED CERTIFICATION OF THE LICENSED ENGINEER WHO PREPARED THE SITE DEVELOPMENT PLAN

I, STEPHEN M. CARPENTER, P.E., DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE, AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

SIGNATURE AND SEAL OF REGISTERED ENGINEER WITH DATE

REVISIONS

0	08/19/25	CAD	ZONING ISSUE
#	DATE	BY	DESCRIPTION



TEXAS FIRM# 23586



SITE NAME
BASTROP MIDDLE SCHOOL

SITE NUMBER
US-TX-6245

SITE ADDRESS
LOVER'S LANE
BASTROP, TX 78602

SITE TYPE
RAWLAND

PROPERTY ACREAGE
1.76 ACRES

SHEET TITLE
TITLE SHEET

SHEET NUMBER
C-001

REVISION
0

ABBREVIATIONS			
AGL	ABOVE GROUND LEVEL	AMSL	ABOVE MEAN SEA LEVEL
CL	CENTERLINE	CONC	CONCRETE
DIA	DIAMETER	DIM	DIMENSION
EA	EACH	ELEV	ELEVATION
EQ	EQUAL	(E)	EXISTING
FTG	FOOTING	FDN	FOUNDATION
HSS	HOLLOW STRUCTURE SHAPE	LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL	MAX	MAXIMUM
(N)	NEW	NTS	NOT TO SCALE
MIN	MINIMUM	OC	ON CENTER
PL	PLATE	(P)	PROPOSED
RGS	RIGID GALVANIZED STEEL	TBR	TO BE REMOVED
TOS	TOP OF STEEL	TYP.	TYPICAL
UNO	UNLESS NOTED OTHERWISE	W/	WITH

LEGEND		
SYMBOLS OF EXISTING FEATURES	DESCRIPTION	SYMBOLS OF PROPOSED FEATURES
X 100.5	SPOT ELEVATION	712.9
95	CONTOUR LINE	98
SD	STORM DRAIN	SD
	CATCH BASIN	
ROW	RIGHT OF WAY	
	IRON PIN	
	BENCHMARK	
	CONCRETE MONUMENT	
C	CENTERLINE	
OHT	OVERHEAD TELEPHONE	
UGT	UNDERGROUND TELEPHONE	
OHP	OVERHEAD POWER	OHP
UGP	UNDERGROUND POWER	UGP
UGF	UNDERGROUND FIBER	UGF
X X X	FENCE LINE	X X X
SF SF	SILT FENCE	SF SF
LOD	LIMITS OF DISURBANCE	LOD
	UTILITY POLE	
	LIGHT POLE	
W	WATER LINE	
	WATER VALVE	
UGG	NATURAL GAS LINE	
G	GAS VALVE	
ST	SANITARY SEWER	
M	MANHOLE	
NOTE: THIS IS A GENERAL LEGEND. ALL FEATURES MAY NOT BE LOCATED IN THIS SITE.		

SCOPE OF WORK	
<u>NEW BUILD - RAWLAND</u>	
INSTALLATION OF A 118'-0" MONOPOLE W/ GROUNDING, UTILITIES, FENCED COMPOUND, AND OTHER SUPPORT STRUCTURES AND COMPONENTS.	
INSTALLATION OF ANTENNAS AND ANCILLARY EQUIPMENT FOR WIRELESS COMMUNICATIONS.	
ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:	
<u>CODE TYPE</u>	<u>CODE</u>
BUILDING	2018 IBC
MECHANICAL	2018 IMC
ELECTRICAL	2018 NEC



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REVISIONS

0	08/19/25	CAD	ZONING ISSUE
#	DATE	BY	DESCRIPTION



TEXAS FIRM# 23586



SITE NAME

BASTROP MIDDLE SCHOOL

SITE NUMBER

US-TX-6245

SITE ADDRESS

LOVER'S LANE
BASTROP, TX 78602

SITE TYPE

RAWLAND

PROPERTY ACREAGE

1.76 ACRES

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

C-002

REVISION

0

GENERAL NOTES:

THE MUST PROVIDE CLOSE-OUT DOCUMENTS AT THE FINAL INSPECTION WALK BEFORE PAYMENTS WILL BE MADE.

DEFINITIONS AND ABBREVIATIONS

1. THE FOLLOWING DEFINITIONS SHALL APPLY:

A. AHJ - AUTHORITY HAVING JURISDICTION

B. CONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)

C. ENGINEER - GEN7 ENGINEERING, LLC.

D. LESSEE - AT&T

E. OWNER - VERTICAL BRIDGE 500, LLC.

F. OWNER REPRESENTATIVE - CONSTRUCTION MANAGEMENT
2. THE INSTALLATION SHALL COMPLY W/ APPLICABLE LAWS AND ORDINANCES, UTILITY COMPANY REGULATIONS, AND APPLICABLE REQUIREMENTS OF THE FOLLOWING:

A. ACI - AMERICAN CONCRETE INSTITUTE

B. AISC - AMERICAN INSTITUTE OF STEEL CONSTRUCTION

C. IBC - INTERNATIONAL BUILDING CODE

D. IECC - INTERNATIONAL ENERGY CONSERVATION CODE

E. IFGC - INTERNATIONAL FUEL GAS CODE

F. NEC - NATIONAL ELECTRIC CODE

G. NEMA - NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION

H. NFPA - NATIONAL FIRE PROTECTION ASSOCIATION

I. NFC - NATIONAL FIRE CODE

GENERAL REQUIREMENTS:

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY W/ ALL LAWS. ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY. SPECIFICATIONS AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE W/ ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS, THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND/OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE W/ THE INTENT OF THESE DOCUMENTS.
3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) OWNER'S REPRESENTATIVE OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK AND FAMILIARIZE HIMSELF W/ THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE W/ THE CONTRACT.
6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED W/ CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS OTHERWISE NOTED OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE, UPDATED W/ THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED W/ THE PROJECT.
9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
11. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC., DURING SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
12. THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS/RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY.
13. THE CONTRACTOR SHALL COMPLY W/ ALL PERTINENT SECTIONS OF THE APPLICABLE BUILDING CODES AND ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
14. THE CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL THAT CONFLICT IS RESOLVED BY OWNER'S REPRESENTATIVE.
15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS.
16. THE CONTRACTOR SHALL NOTIFY THE RF ENGINEER FOR ANTENNA AZIMUTH VERIFICATION (DURING ANTENNA INSTALLATION) PRIOR TO COORDINATING SITE SWEEPING.
17. THE CONTRACTOR SHALL SUBMIT, AT THE END OF THE PROJECT, A COMPLETE SET OF AS-BUILT DRAWINGS TO OWNER'S PROJECT MANAGER.

SITE WORK AND DRAINAGE:

EARTHWORK, EXCAVATION AND GRADING

PART 1 GENERAL

1.01 WORK INCLUDED: REFER TO SURVEY AND SITE PLAN FOR WORK INCLUDED.

1.02 RELATED WORK

1. CONSTRUCTION OF EQUIPMENT FOUNDATIONS
2. INSTALLATION OF ANTENNA SYSTEM
3. SITE PREPARATION

1.03 DESCRIPTIONS

1. ACCESS ROAD, TURNAROUND AREAS AND SITES ARE CONSTRUCTED TO PROVIDE A WELL DRAINED, EASILY MAINTAINED, EVEN SURFACE FOR MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.

1.04 QUALITY ASSURANCE

1. APPLY SOIL STERILIZER IN ACCORDANCE W/ MANUFACTURER'S RECOMMENDATION (USE AS NEEDED)
2. VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT WILL BE PLACED AND MAINTAINED AS RECOMMENDED BY NURSERY INDUSTRY STANDARDS.

1.05 SEQUENCING

1. CONTRACTOR IS RESPONSIBLE FOR LAYOUT AND CONSTRUCTION STAKING.
2. GRUB THE COMPLETE ROAD AND SITE AREA PRIOR TO FOUNDATION CONSTRUCTION OR PLACEMENT OF BACK FILL OR SUB-BASE MATERIAL.
3. CONSTRUCT TEMPORARY CONSTRUCTION ZONE ALONG ACCESS DRIVE.
4. THE SITE AREA WILL BE BROUGHT TO SUB-BASE COURSE ELEVATION AND THE ACCESS ROAD TO BASE COURSE ELEVATION PRIOR TO FORMING FOUNDATIONS.
5. APPLY SILT STERILIZER PRIOR TO PLACING BASE MATERIALS.
6. IF REQUIRED, GRADE, SEED, FERTILIZE AND MULCH DISTURBED AREAS IMMEDIATELY AFTER BRINGING THE SITE AND ACCESS ROAD TO BASE ELEVATION. WATER TO ENSURE GROWTH.
7. REMOVE EXCESS GRAVEL FROM TEMPORARY CONSTRUCTION ZONE.
8. AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL STERILIZER TO THE STONE SURFACES.

1.06 SUBMITTALS

1. BEFORE CONSTRUCTION

H. IF LANDSCAPING IS APPLICABLE TO THE CONTRACT, SUBMIT TWO COPIES OF THE LANDSCAPING PLAN UNDER NURSERY LETTERHEAD. IF A LANDSCAPE ALLOWANCE IS INCLUDED IN THE CONTRACT, PROVIDE AN ITEMIZED LISTING OF PROPOSED COSTS UNDER NURSERY LETTERHEAD (REFER TO SITE PLAN FOR LANDSCAPING REQUIREMENT).

I. SUBMIT FOR APPROVAL, 1/2 CUBIC FOOT OF THE PROPOSED SURFACE COURSE MATERIAL.

J. LANDSCAPING WARRANTY STATEMENT, IF REQUIRED.

PART 2 PRODUCTS

2.01 MATERIALS

1. ROAD AND SITE MATERIALS: FILL MATERIAL SHALL BE ACCEPTABLE, SELECT FILL AND SHALL BE IN ACCORDANCE W/ LOCAL DEPARTMENT OF HIGHWAY AND PUBLIC TRANSPORTATION STANDARD SPECIFICATIONS.
2. SOIL STERILIZER SHALL BE EPA REGISTERED OF LIQUID COMPOSITION AND OF PRE-EMERGENCE DESIGN.
3. SOIL STABILIZER FABRIC SHALL BE MIRAFI OR EQUAL - 500% AT ACCESS ROAD AND SOAK AT COMPOUND.
4. GRAVEL FILL: WELL GRADED, HARD, DURABLE, NATURAL SAND AND GRAVEL, FREE FROM ICE AND SNOW, ROOTS, SOD RUBBISH, AND OTHER DELETERIOUS OR ORGANIC MATTER. MATERIAL SHALL CONFORM TO THE FOLLOWING GRADATION REQUIREMENTS:

U.S. SIEVE NO.	PASSING BY WEIGHT
4"	100
1/2"	50-85
#4	40-75
#10	30-60
#40	10-30
#100	5-20
#200	0-5

GRAVEL FILL TO BE PLACED IN LIFTS OF 9" MAXIMUM THICKNESS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.

2.02 EQUIPMENT

1. COMPACTION SHALL BE ACCOMPLISHED BY MECHANICAL MEANS. LARGER AREAS SHALL BE COMPACTED BY SHEEP'S FOOT, VIBRATORY OR RUBBER TIED ROLLERS WEIGHING AT LEAST 5 TONS. SMALLER AREAS SHALL BE COMPACTED BY POWER-DRIVER, HAND-HELD TAMPER.
2. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION EFFORTS, GRUB ORGANIC MATERIAL TO A MINIMUM OF 6" BELOW ORIGINAL GROUND LEVEL.
3. UNLESS OTHERWISE INSTRUCTED BY OWNER, REMOVE TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED DISPOSAL LOCATION.
4. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL.
5. WHERE UNSTABLE CONDITIONS ARE ENCOUNTERED, LINE THE RUBBED AREAS W/ STABILIZER MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.

PART 3 EXECUTION

3.30 INSTALLATION

1. THE SITE AND TURNAROUND SHALL BE AT THE SUB-BASE COURSE ELEVATION PRIOR TO FORMING FOUNDATIONS. GRADE OR FILL THE SITE AND ACCESS ROAD AS REQUIRED TO PRODUCE EVEN DISTRIBUTION OF SPOILS RESULTING FROM FOUNDATION EXCAVATIONS. THE RESULTING GRADE SHALL CORRESPOND W/ SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM FINISHED GRADES OR SLOPES INDICATED.
2. CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF OWNER'S LEASE PROPERTY UNLESS AUTHORIZED BY PROJECT MANAGER.
3. THE ACCESS ROAD SHALL BE BROUGHT TO BASE COURSE ELEVATION PRIOR TO FOUNDATION CONSTRUCTION.
4. DO NOT CREATE DEPRESSIONS WHERE WATER MAY POND.
5. THE CONTRACT INCLUDES ALL NECESSARY GRADING, BANKING, DITCHING AND COMPLETE SURFACE COURSE FOR ACCESS ROAD. ALL ROADS OR ROUTES UTILIZED FOR ACCESS TO PUBLIC THOROUGHFARE ARE INCLUDED SCOPE OF WORK UNLESS OTHERWISE INDICATED.

6. WHEN IMPROVING AN EXISTING ACCESS ROAD, GRADE THE EXISTING ROAD TO REMOVE ANY ORGANIC MATTER AND THEN SMOOTH SURFACE BEFORE PLACING FILL OR STONE.
7. PLACE FILL OR STONE IN 3" MAXIMUM LIFTS AND COMPACT BEFORE PLACING NEXT LIFT.
8. THE FINISH GRADE, INCLUDING TOP SURFACE COURSE SHALL EXTEND A MINIMUM OF 12" BEYOND THE SITE FENCE AND SHALL COVER THE AREA AS INDICATED.
9. RIPRAP SHALL BE APPLIED TO THE SIDE SLOPES OF ALL FENCED AREAS, PARKING AREAS AND TO ALL OTHER SLOPES GREATER THAN 2:1.
10. RIPRAP SHALL BE APPLIED TO THE SIDES OF DITCHES OR DRAINAGE SWALES AS INDICATED ON PLANS.
11. RIPRAP ENTIRE DITCH FOR 6'-0" IN ALL DIRECTIONS AT CULVERT OPENINGS.
12. SEED, FERTILIZER AND STRAW COVER SHALL BE APPLIED TO ALL OTHER DISTURBED AREAS AND DITCHES, DRAINAGE SWALES, NOT OTHERWISE RIPRAPPED.
13. UNDER NO CIRCUMSTANCES SHALL DITCHES, SWALES OR CULVERTS BE PLACED SO THEY DIRECT WATER TOWARDS OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SITE. IF OWNER DESIGNS OR IF DESIGN ELEVATIONS CONFLICT W/ THIS GUIDANCE, ADVISE THE OWNER IMMEDIATELY.
14. IF A DITCH LIES W/ SLOPES GREATER THAN TEN PERCENT, MOUNT DIVERSIONARY HEADWALLS IN THE DITCH FOR 6'-0" ABOVE THE CULVERT ENTRANCE.
15. SEED AND FERTILIZER SHALL BE APPLIED TO SURFACE CONDITIONS WHICH WILL ENCOURAGE ROOTING. RAKE AREAS TO BE SEEDED TO EVEN THE SURFACE AND TO LOOSEN THE SOIL.
16. SOW SEEDS IN TWO DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE GROWTH OF SEEDED AND LANDSCAPED AREAS BY WATERING TO THE POINT OF RELEASE FROM THE CONTRACT. CONTINUE TO REWORK BARE AREAS UNTIL COMPLETE COVERAGE IS OBTAINED.
- 3.04 FIELD QUALITY CONTROL

COMPACTION SHALL BE 90% STANDARD PROCTOR DENSITY IN ACCORDANCE W/ ASTM D-1557 FOR SITE WORK AND 95% STANDARD PROCTOR DENSITY UNDER SLAB AREAS. AREAS OF SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE.
- 3.05 PROTECTION

1. PROTECT SEEDED AREAS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1"-2". STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL MESH OR MULCH NET SHALL BE AN ACCEPTABLE ALTERNATIVE.

2. ALL TREES PLACED IN CONJUNCTION W/ A LANDSCAPE CONTRACT SHALL BE WRAPPED/TIED W/ HOSE PROTECTED WIRE AND SECURED TO STAKES EXTENDING 2'-0" INTO THE GROUND ON FOUR SIDES OF THE TREE.

3. ALL EXPOSED AREAS SHALL BE PROTECTED AGAINST WASHOUTS AND SOIL EROSION. STRAW BALES SHALL BE PLACED AT THE INLET APPROACH TO ALL NEW OR EXISTING CULVERTS.

EROSION AND SEDIMENT CONTROL NOTES:

1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE APPLICABLE EROSION & SEDIMENT CONTROL MEASURES AND ALL APPLICABLE LOCAL CODES.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP OF CLEARING. ADD MEASURES AS NECESSARY AS DISTURBANCES INCREASE AS PART OF THE PHASED CONSTRUCTION.
3. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, ALONG W/ THE APPROVED NOTICE OF INTENT AND STORMWATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
4. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
5. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
6. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES FINAL STABILIZATION IS ACHIEVED.
7. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED FILTERING DEVICE.
8. CONSTRUCTION SHALL BE SEQUENCED TO MINIMIZE EXPOSURE TIME OF CLEARED SURFACE AREA. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONAL PRIOR TO EARTH MOVING OPERATIONS. ALL CONTROL MEASURES SHALL BE CHECKED AND REPAIRED AS NECESSARY, AND AT MAXIMUM 14 CALENDAR DAYS IN DRY PERIODS AND WITHIN 24 HOURS AFTER ANY RAINFALL EXCEEDING 0.5 INCH WITHIN A 24 HOUR PERIOD.
9. THE CONTRACTOR SHALL DESIGNATE IN WRITING THE NAME AND PHONE NUMBER OF THE INDIVIDUAL RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS.
10. PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE REMOVED MORE THAN 20 CALENDAR DAYS PRIOR TO GRADING. ALL GRADED AREAS EXPECTED TO REMAIN UNFINISHED FOR MORE THAN 30 CALENDAR DAYS SHALL BE COVERED W/ TEMPORARY GRASS, SOD, STRAW, MULCH OR FABRIC MATS. PERMANENT SOIL STABILIZATION SHALL BE INSTALLED WITHIN 15 CALENDAR DAYS OF FINAL GRADING.
11. THE CONTRACTOR SHALL MAINTAIN RECORDS OF EROSION CONTROL INSPECTIONS AND REPAIRS FOR A MINIMUM OF 3 YEARS AFTER CONSTRUCTION COMPLETION.
12. MULCHING SHALL CONSIST OF LOOSE HAY OR STRAW APPLIED AT THE RATE OF 2 TONS/ACRE.
13. THE CONTRACTOR SHALL REMOVE SEDIMENT FROM TRAPS, SILT FENCES, SEDIMENT PONDS, ETC. AS NECESSARY AND WHEN CAPACITY HAS BEEN REDUCED BY 50%.
14. STOCKPILES SHALL BE STABILIZED AND PROTECTED FROM EROSION.



THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

DRAWN BY	CAD
CHECKED BY	CAE

REVISIONS			
0	08/19/25	CAD	ZONING ISSUE
#	DATE	BY	DESCRIPTION



TEXAS FIRM# 23586



SITE NAME
BASTROP MIDDLE SCHOOL
SITE NUMBER
US-TX-6245

SITE ADDRESS
LOVER'S LANE BASTROP, TX 78602

SITE TYPE
RAWLAND
PROPERTY ACREAGE
1.76 ACRES

SHEET TITLE
GENERAL NOTES

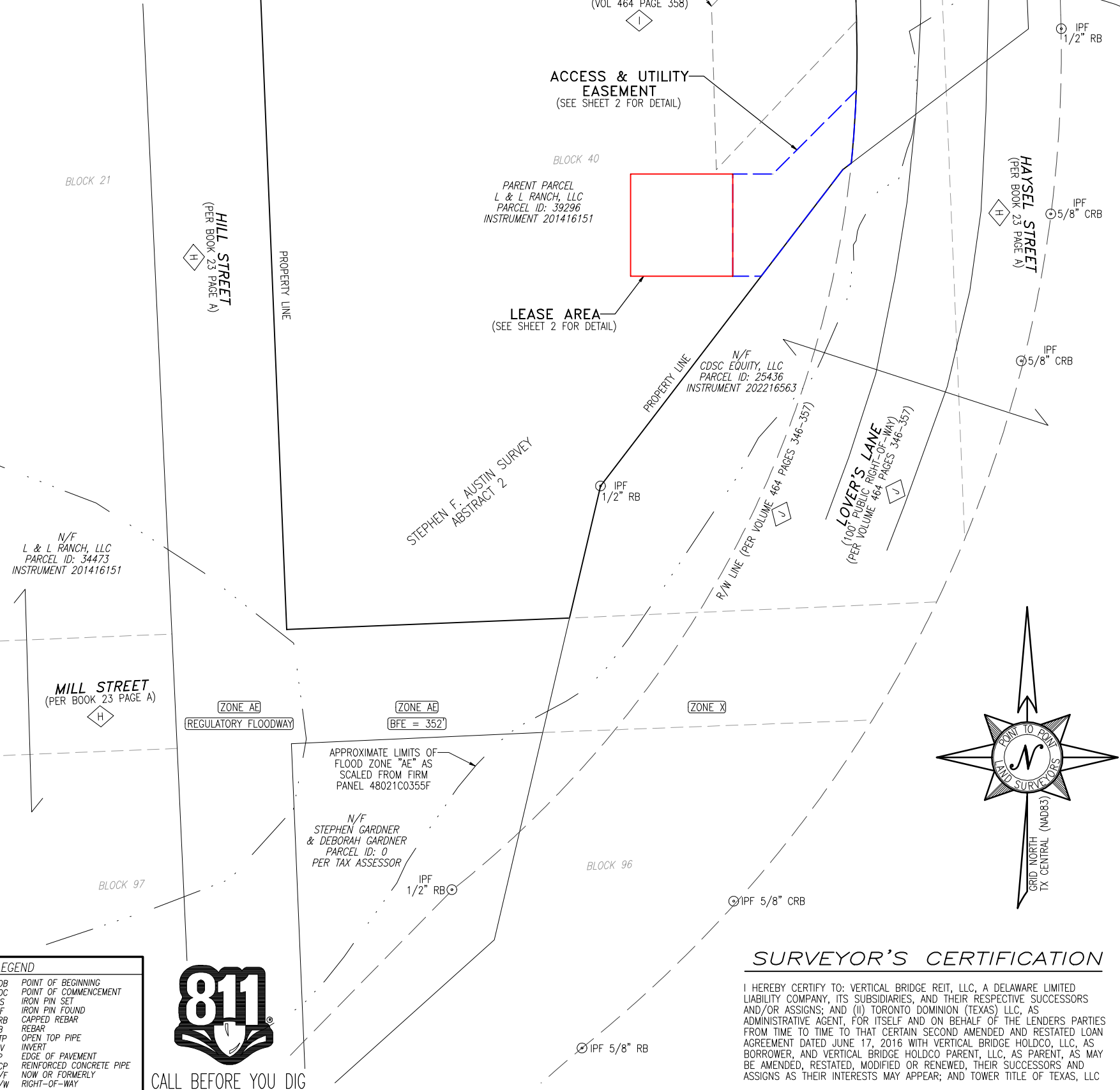
SHEET NUMBER	REVISION
C-003	0

LANDLORD APPROVAL

SITE NAME/NO.: BASTROP MIDDLE SCHOOL US-TX-6245

THE INFORMATION CONTAINED ON THIS REVISED SURVEY IS AGREED TO AND APPROVED BY LANDLORD ON THIS _____ DAY OF _____, 20____ THIS DOCUMENT SHALL BE DEEMED AN AMENDMENT TO THE LEASE AGREEMENT BY AND BETWEEN THE PARTIES.

LANDLORD NAME, TITLE



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

* THIS SPECIFIC PURPOSE SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS SPECIFIC PURPOSE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF VB BTS II, LLC AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

BASIS OF BEARING: GNSS OBSERVATIONS CONDUCTED AT THE TIME OF SURVEY.

BASIS OF ELEVATION: GNSS OBSERVATIONS CONDUCTED AT THE TIME OF SURVEY.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: GEOMAX ZOOM ROBOTIC AND CARLSON BRX7 BASE AND ROVER [DATE OF LAST FIELD VISIT: 02/26/2025]. SEE GNSS NOTES FOR GNSS EQUIPMENT.

THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID18) AND HAVE A VERTICAL ACCURACY OF ± 0.5'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE BASED ON TEXAS GRID NORTH (NAD 83) CENTRAL ZONE.

PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE AE (BASE FLOOD ELEVATION = 352 FEET). COMMUNITY PANEL NO. : 48021C0355F DATED: 5/9/2023

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC PURPOSE SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

TEXAS REGISTRATION NO. 10194197

THERE WERE NO VISIBLE ENCROACHMENTS AFFECTING THE LEASE AREA OR ANY OF THE EASEMENTS, AT THE TIME THE SURVEY WAS COMPLETED.

THE LEASE AREA AND ALL EASEMENTS LIE ENTIRELY WITHIN THE PARENT PARCEL.

THE ACCESS AND UTILITY EASEMENTS GO TO A CONFIRMED PUBLIC RIGHT-OF-WAY.

GNSS NOTES

THE FOLLOWING GNSS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

POSITIONAL ACCURACY: 0.17 FEET (HORZ) 0.28 FEET (VERT)
TYPE OF EQUIPMENT: CARLSON BRx7 BASE AND ROVER, MULTI-FREQUENCY
TYPE OF GNSS FIELD PROCEDURE: ONLINE POSITION USER SERVICE
DATE OF SURVEY: 02/26/2025
DATUM / EPOCH: NAD_83(2011)(EPOCH:2010.0000)
PUBLISHED / FIXED CONTROL USE: N/A
GEOID MODEL: 18
COMBINED GRID FACTOR(S): 0.99999051
CENTERED ON THE BASE POINT AS SHOWN HEREON.
CONVERGENCE ANGLE: 1.55519167
BENCHMARKS USED: D02383, D09111, D04062

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY TO: VERTICAL BRIDGE REIT, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUBSIDIARIES, AND THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS; AND (II) TORONTO DOMINION (TEXAS) LLC, AS ADMINISTRATIVE AGENT, FOR ITSELF AND ON BEHALF OF THE LENDERS PARTIES FROM TIME TO TIME TO THAT CERTAIN SECOND AMENDED AND RESTATED LOAN AGREEMENT DATED JUNE 17, 2016 WITH VERTICAL BRIDGE HOLDCO, LLC, AS BORROWER, AND VERTICAL BRIDGE HOLDCO PARENT, LLC, AS PARENT, AS MAY BE AMENDED, RESTATED, MODIFIED OR RENEWED, THEIR SUCCESSORS AND ASSIGNS AS THEIR INTERESTS MAY APPEAR; AND TOWER TITLE OF TEXAS, LLC

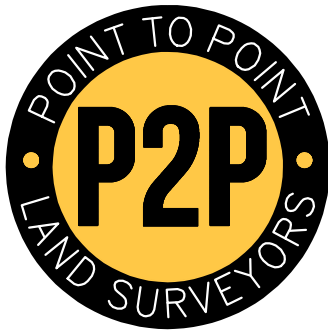


I DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND UNDER MY SUPERVISION. THE HORIZONTAL DATUM (COORDINATES) ARE IN THE TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD83) AND ARE EXPRESSED AS DEGREES, MINUTES AND SECONDS, TO THE NEAREST HUNDREDTH OF A SECOND. THE VERTICAL DATUM (HEIGHTS) ARE IN TERMS OF NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE DETERMINED TO THE NEAREST TENTH OF A FOOT. I HEREBY CERTIFY THAT THIS MAP IS CORRECT AND THAT ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.

DATE: 03/07/2025
JUSTIN KYLE LAWRENCE TEXAS PROFESSIONAL LAND SURVEYOR LICENSE NO. 6589

THIS MAP IS NOT A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS. THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION.

* SPECIFIC PURPOSE SURVEY PREPARED BY:



100 Governors Trace, Ste. 103
Peachtree City, GA 30269
(p) 678.565.4440 (f) 678.565.4497 (w) p2pls.com

SPECIFIC PURPOSE SURVEY PREPARED FOR:

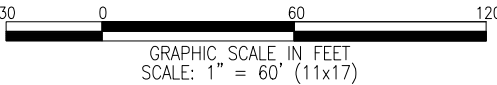


BASTROP MIDDLE SCHOOL
US-TX-6245

STEPHEN F. AUSTIN SURVEY, ABSTRACT 2
CITY OF BASTROP, BASTROP COUNTY, TEXAS

PARENT PARCEL

OWNER: L & L RANCH, LLC
SITE ADDRESS: 201 HILL ST BASTROP, TX 78602
PARCEL ID: 39296
AREA: 1.617 ACRES (PER TAX ASSESSOR)
REFERENCE: INSTRUMENT NO. 201416151



NO.	DATE	REVISION	DRAWN BY: TJM	SHEET:
			CHECKED BY: JKL	1
			APPROVED: D. MILLER	
			DATE: MARCH 7, 2025	
			P2P JOB #: 250277TX	OF 3

SURVEY NOT VALID WITHOUT ALL SHEETS

LEGEND

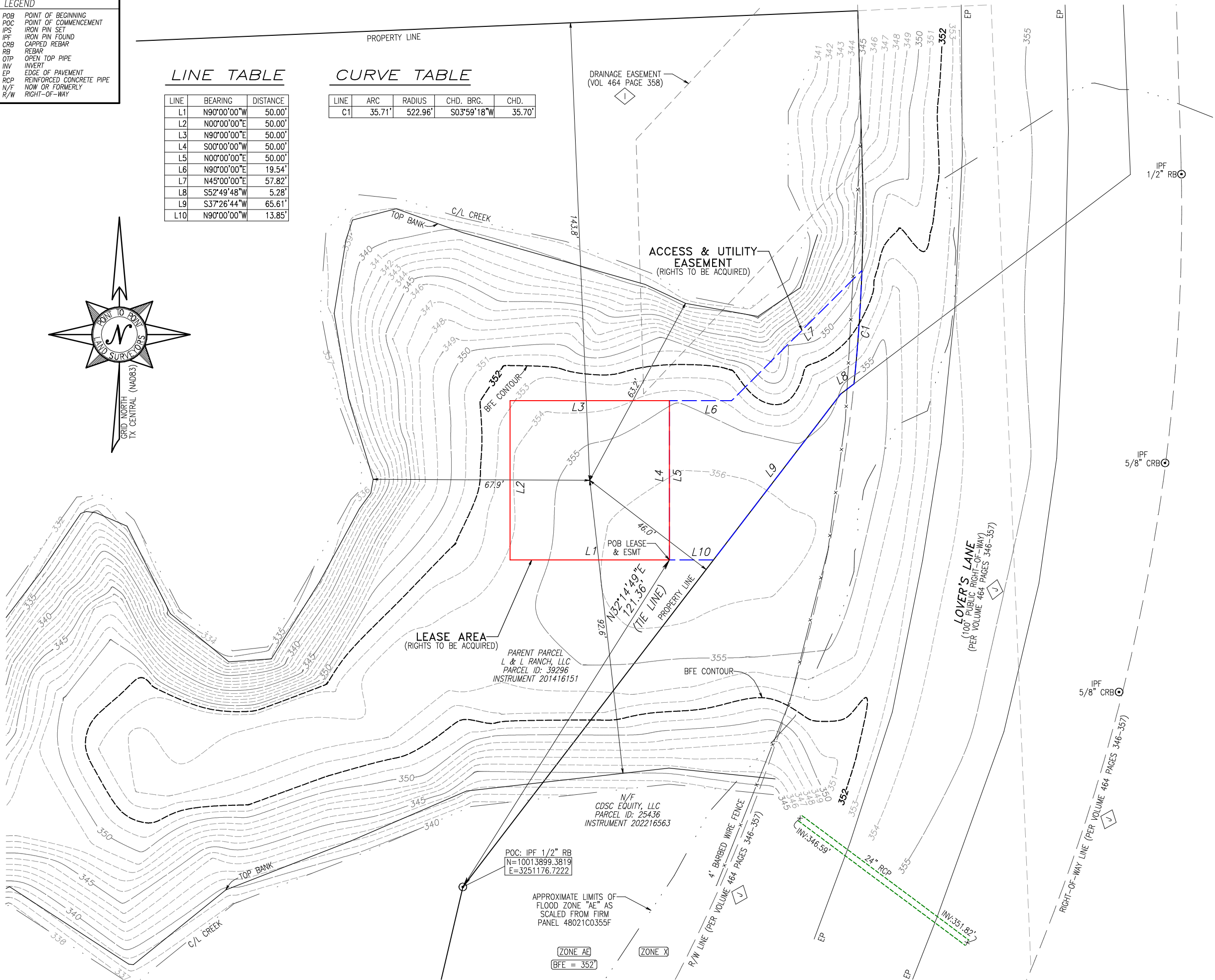
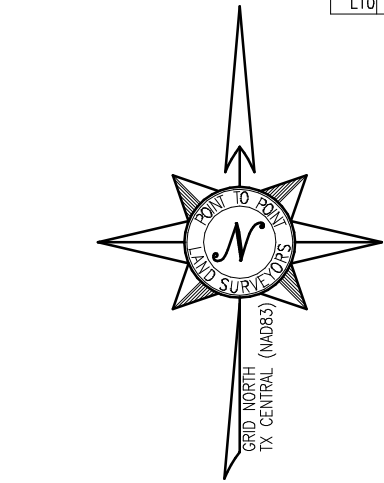
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
IPS	IRON PIN SET
IPF	IRON PIN FOUND
CRB	CAPPED REBAR
RB	REBAR
OTP	OPEN TOP PIPE
INV	INVERT
EP	EDGE OF PAVEMENT
RCP	REINFORCED CONCRETE PIPE
N/F	NOW OR FORMERLY
R/W	RIGHT-OF-WAY

LINE TABLE

LINE	BEARING	DISTANCE
L1	N90°00'00"W	50.00'
L2	N00°00'00"E	50.00'
L3	N90°00'00"E	50.00'
L4	S00°00'00"W	50.00'
L5	N00°00'00"E	50.00'
L6	N90°00'00"E	19.54'
L7	N45°00'00"E	57.82'
L8	S52°49'48"W	5.28'
L9	S37°26'44"W	65.61'
L10	N90°00'00"W	13.85'

CURVE TABLE

LINE	ARC	RADIUS	CHD. BRG.	CHD.
C1	35.71'	522.96'	S03°59'18"W	35.70'

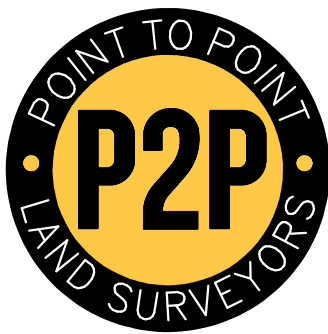


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DATE: 03/07/2025
JUSTIN KYLE LAWRENCE TEXAS PROFESSIONAL LAND SURVEYOR LICENSE NO. 6589

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* SPECIFIC PURPOSE SURVEY PREPARED BY:



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Peachtree City, GA 30269
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SPECIFIC PURPOSE SURVEY PREPARED FOR:



BASTROP MIDDLE SCHOOL
US-TX-6245
STEPHEN F. AUSTIN SURVEY, ABSTRACT 2
CITY OF BASTROP, BASTROP COUNTY, TEXAS

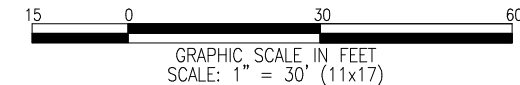
SITE INFORMATION

LEASE AREA = 2,500 SQUARE FEET (0.0574 ACRES)

AT CENTER LEASE AREA:
LATITUDE: 30°06'09.55" (NAD 83) (30.102653°)
LONGITUDE: -97°18'51.02" (NAD 83) (-97.314172°)
ELEVATION = 355.4' A.M.S.L.

VERTICAL DATUM: NAVD 1988 (COMPUTED USING GEOID18)
HORIZONTAL DATUM: NAD83

BEARINGS ARE BASED ON TEXAS GRID NORTH (CENTRAL ZONE)



NO.	DATE	REVISION	DRAWN BY: TJM	SHEET:
			CHECKED BY: JKL	2
			APPROVED: D. MILLER	
			DATE: MARCH 7, 2025	
			P2P JOB #: 250277TX	OF 3

SURVEY NOT VALID WITHOUT ALL SHEETS

TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY TOWER TITLE OF TEXAS, LLC, COMMITMENT DATE OF DECEMBER 11, 2024, BEING COMMITMENT NO. VTB-193827-C, FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

ITEMS 1-9 ARE STANDARD EXCEPTIONS AND NOT THE TYPE TO BE DEPICTED.

10. THE FOLLOWING MATTERS AND ALL TERMS OF THE DOCUMENTS CREATING OR OFFERING EVIDENCE OF THE MATTERS. (WE MUST INSERT MATTERS OR DELETE THIS EXCEPTION.):

ITEMS A-F ARE STANDARD EXCEPTIONS AND NOT THE TYPE TO BE DEPICTED.

G) OIL, GAS AND MINERAL LEASE BETWEEN CECIL B. LONG AND IDA LOU LONG, HUSBAND AND WIFE AND WILLIAM C. HAVERLAH, DATED APRIL 29, 1976 AND RECORDED JUNE 17, 1976 IN (BOOK) 105 (PAGE) 664 (INSTRUMENT) 2549, IN BASTROP COUNTY, TEXAS. (TITLE TO SAID INTEREST NOT CHECKED SUBSEQUENT TO DATE OF AFORESAID INSTRUMENT).

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL BUT IS NOT PLOTTED HEREON BECAUSE IT IS BLANKET IN NATURE.]

H) ANY AND ALL MATTERS DISCLOSED ON THE MAP ENTITLED "MAP OF BASTROP TEXAS. IN (BOOK) 23 (PAGE) A, IN BASTROP COUNTY, TEXAS.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL, PLOTTABLE ITEMS ARE SHOWN HEREON.]

I) DRAINAGE EASEMENT FOR HIGHWAY PURPOSES BETWEEN CECIL B. LONG; AND CITY OF BASTROP, TEXAS, DATED MARCH 20, 1987 AND RECORDED MARCH 20, 1987 IN (BOOK) 464 (PAGE) 358, IN BASTROP COUNTY, TEXAS.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL, AND IS PLOTTED HEREON.]

J) RIGHT-OF-WAY EASEMENT FOR STREET PURPOSES BETWEEN CECIL B. LONG; AND CITY OF BASTROP, TEXAS, DATED MARCH 3, 1987 AND RECORDED MARCH 3, 1987 IN (BOOK) 464 (PAGE) 353, IN BASTROP COUNTY, TEXAS.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL, AND IS PLOTTED HEREON.]

PARENT PARCEL

(PER COMMITMENT NO. VTB-193827-C)

THREE (3) ACRES OF LAND, MORE OR LESS, BEING A PART OF BUILDING BLOCK 40, EAST OF MAIN ST. IN THE CITY OF BASTROP, BASTROP COUNTY, TEXAS, AS DESCRIBED AS TRACT 4 IN GENERAL WARRANTY DEED DATED DECEMBER 22, 2014, FROM ROBERT KENT LONG, SR. TO L & L RANCH, LLC, RECORDED IN CLERK'S FILE NO. 201416151, OFFICIAL PUBLIC RECORDS, BASTROP COUNTY, TEXAS.

PARCEL ID 39296

THIS BEING THE SAME PROPERTY CONVEYED TO L & L RANCH, LLC, A TEXAS LIMITED LIABILITY COMPANY FROM ROBERT KENT LONG, SR. IN A DEED DATED DECEMBER 22, 2014 AND RECORDED DECEMBER 31, 2014 IN INSTRUMENT NO. 201416151.

LEASE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE STEPHEN F. AUSTIN SURVEY, ABSTRACT 2, CITY OF BASTROP, BASTROP COUNTY, TEXAS, AND BEING A PORTION OF THE LANDS OF L & L RANCH, LLC, AS RECORDED IN INSTRUMENT NO. 201416151, BASTROP COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 1/2-INCH REBAR FOUND AT A CORNER COMMON TO SAID LANDS OF L & L RANCH, LLC AND THE LANDS OF CDSC EQUITY, LLC, AS RECORDED IN INSTRUMENT NO. 202216563, SAID REBAR HAVING A TEXAS GRID NORTH, NAD83, CENTRAL ZONE VALUE OF N=10013899.3819, E=3251176.7222; THENCE RUNNING ALONG A TIE LINE, NORTH 32°14'49" EAST, 121.36 FEET TO A POINT AND THE TRUE POINT OF BEGINNING;

THENCE, NORTH 90°00'00" WEST, 50.00 FEET TO A POINT;

THENCE, NORTH 00°00'00" EAST, 50.00 FEET TO A POINT;

THENCE, NORTH 90°00'00" EAST, 50.00 FEET TO A POINT;

THENCE, SOUTH 00°00'00" WEST, 50.00 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON TEXAS GRID NORTH, NAD83, CENTRAL ZONE.

SAID TRACT CONTAINS 0.0574 ACRES (2,500 SQUARE FEET), MORE OR LESS, AS SHOWN IN A SURVEY PREPARED FOR VB BTS II, LLC BY POINT TO POINT LAND SURVEYORS, INC. DATED MARCH 7, 2025.

ACCESS & UTILITY EASEMENT

TOGETHER WITH AN ACCESS & UTILITY EASEMENT LYING AND BEING IN THE STEPHEN F. AUSTIN SURVEY, ABSTRACT 2, CITY OF BASTROP, BASTROP COUNTY, TEXAS, AND BEING A PORTION OF THE LANDS OF L & L RANCH, LLC, AS RECORDED IN INSTRUMENT NO. 201416151, BASTROP COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 1/2-INCH REBAR FOUND AT A CORNER COMMON TO SAID LANDS OF L & L RANCH, LLC AND THE LANDS OF CDSC EQUITY, LLC, AS RECORDED IN INSTRUMENT NO. 202216563, SAID REBAR HAVING A TEXAS GRID NORTH, NAD83, CENTRAL ZONE VALUE OF N=10013899.3819, E=3251176.7222; THENCE RUNNING ALONG A TIE LINE, NORTH 32°14'49" EAST, 121.36 FEET TO A POINT ON THE LEASE AREA AND THE TRUE POINT OF BEGINNING;

THENCE RUNNING ALONG SAID LEASE AREA, NORTH 00°00'00" EAST, 50.00 FEET TO A POINT;

THENCE LEAVING SAID LEASE AREA AND RUNNING, NORTH 90°00'00" EAST, 19.54 FEET TO A POINT;

THENCE, NORTH 45°00'00" EAST, 57.82 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF LOVER'S LANE (HAVING A 100-FOOT PUBLIC RIGHT-OF-WAY);

THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE, 35.71 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 522.96 FEET AND BEING SCRIBED BY A CHORD BEARING, SOUTH 03°59'18" WEST, 35.70 FEET TO A POINT ON THE COMMON LINE OF SAID LANDS;

THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING SAID COMMON LINE, SOUTH 52°49'48" WEST, 5.28 FEET TO A POINT;

THENCE, SOUTH 37°26'44" WEST, 65.61 FEET TO A POINT;

THENCE LEAVING SAID COMMON LINE AND RUNNING, SOUTH 90°00'00" WEST, 13.85 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON TEXAS GRID NORTH, NAD83, CENTRAL ZONE.

SAID TRACT CONTAINS 0.0555 ACRES (2,418 SQUARE FEET), MORE OR LESS, AS SHOWN IN A SURVEY PREPARED FOR VB BTS II, LLC BY POINT TO POINT LAND SURVEYORS, INC. DATED MARCH 7, 2025.

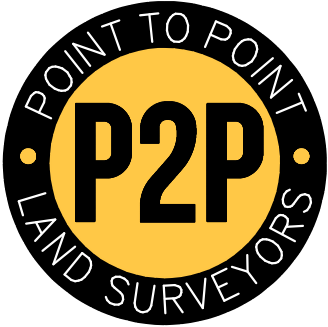


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 DATE: 03/07/2025
JUSTIN KYLE LAWRENCE TEXAS PROFESSIONAL LAND SURVEYOR LICENSE NO. 6589

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* SPECIFIC PURPOSE SURVEY PREPARED BY:



100 Governors Trace, Ste. 103
Peachtree City, GA 30269
(p) 678.565.4440 (f) 678.565.4497 (w) p2pls.com

SPECIFIC PURPOSE SURVEY PREPARED FOR:



BASTROP MIDDLE SCHOOL
US-TX-6245
STEPHEN F. AUSTIN SURVEY, ABSTRACT 2
CITY OF BASTROP, BASTROP COUNTY, TEXAS

LEGAL DESCRIPTION & TITLE REVIEW SHEET

NO.	DATE	REVISION	DRAWN BY: TJM	SHEET:
			CHECKED BY: JKL	3
			APPROVED: D. MILLER	
			DATE: MARCH 7, 2025	
			P2P JOB #: 250277TX	
				OF 3

SURVEY NOT VALID WITHOUT ALL SHEETS

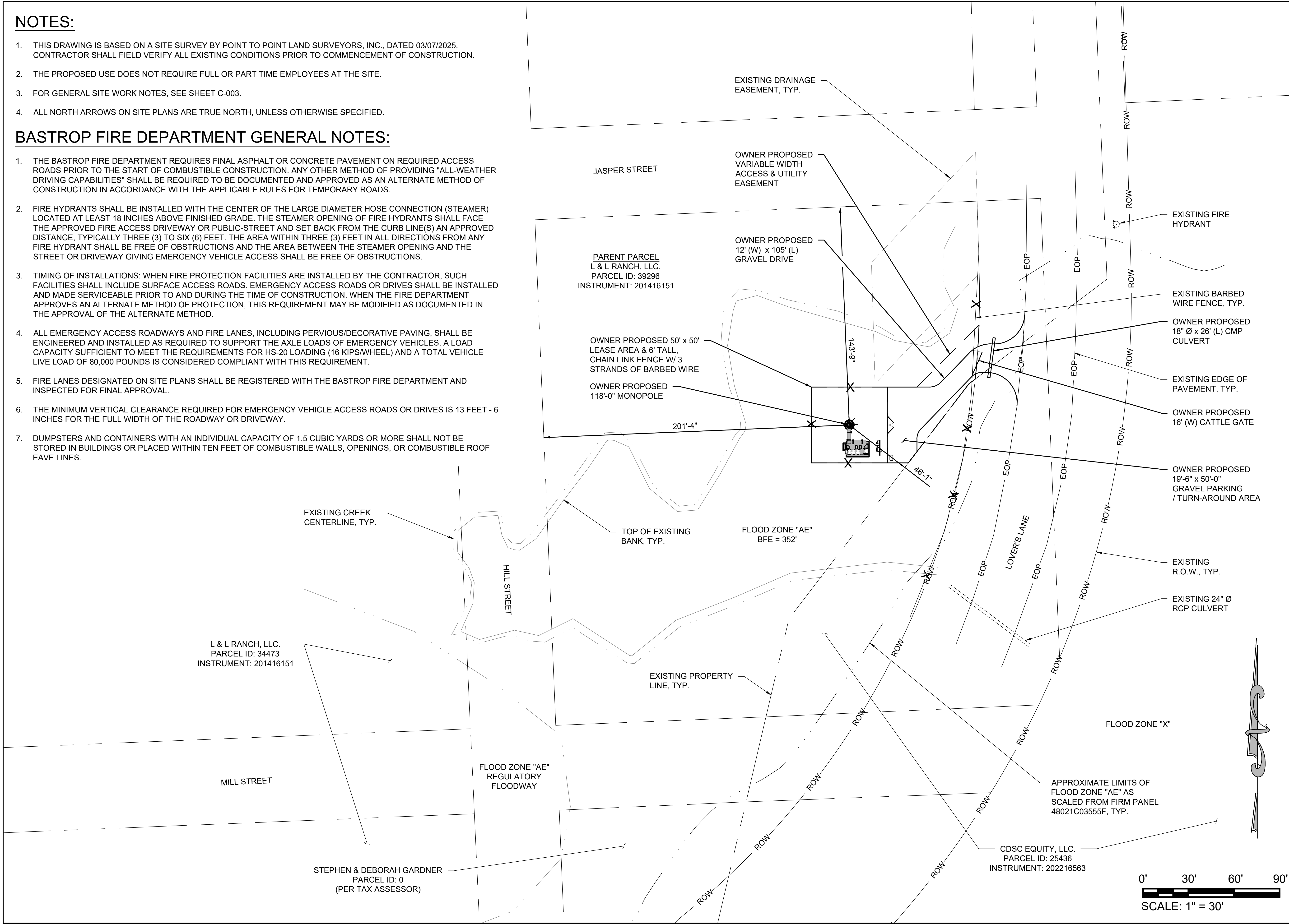
E:\Point To Point Dropbox\P2P Current Jobs\2025\250277TX-Bastrop Middle School\250277TX.prt

NOTES:

- THIS DRAWING IS BASED ON A SITE SURVEY BY POINT TO POINT LAND SURVEYORS, INC., DATED 03/07/2025. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE PROPOSED USE DOES NOT REQUIRE FULL OR PART TIME EMPLOYEES AT THE SITE.
- FOR GENERAL SITE WORK NOTES, SEE SHEET C-003.
- ALL NORTH ARROWS ON SITE PLANS ARE TRUE NORTH, UNLESS OTHERWISE SPECIFIED.

BASTROP FIRE DEPARTMENT GENERAL NOTES:

- THE BASTROP FIRE DEPARTMENT REQUIRES FINAL ASPHALT OR CONCRETE PAVEMENT ON REQUIRED ACCESS ROADS PRIOR TO THE START OF COMBUSTIBLE CONSTRUCTION. ANY OTHER METHOD OF PROVIDING "ALL-WEATHER DRIVING CAPABILITIES" SHALL BE REQUIRED TO BE DOCUMENTED AND APPROVED AS AN ALTERNATE METHOD OF CONSTRUCTION IN ACCORDANCE WITH THE APPLICABLE RULES FOR TEMPORARY ROADS.
- FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE LARGE DIAMETER HOSE CONNECTION (STEAMER) LOCATED AT LEAST 18 INCHES ABOVE FINISHED GRADE. THE STEAMER OPENING OF FIRE HYDRANTS SHALL FACE THE APPROVED FIRE ACCESS DRIVEWAY OR PUBLIC-STREET AND SET BACK FROM THE CURB LINE(S) AN APPROVED DISTANCE, TYPICALLY THREE (3) TO SIX (6) FEET. THE AREA WITHIN THREE (3) FEET IN ALL DIRECTIONS FROM ANY FIRE HYDRANT SHALL BE FREE OF OBSTRUCTIONS AND THE AREA BETWEEN THE STEAMER OPENING AND THE STREET OR DRIVEWAY GIVING EMERGENCY VEHICLE ACCESS SHALL BE FREE OF OBSTRUCTIONS.
- TIMING OF INSTALLATIONS: WHEN FIRE PROTECTION FACILITIES ARE INSTALLED BY THE CONTRACTOR, SUCH FACILITIES SHALL INCLUDE SURFACE ACCESS ROADS. EMERGENCY ACCESS ROADS OR DRIVES SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. WHEN THE FIRE DEPARTMENT APPROVES AN ALTERNATE METHOD OF PROTECTION, THIS REQUIREMENT MAY BE MODIFIED AS DOCUMENTED IN THE APPROVAL OF THE ALTERNATE METHOD.
- ALL EMERGENCY ACCESS ROADWAYS AND FIRE LANES, INCLUDING PERVIOUS/DECORATIVE PAVING, SHALL BE ENGINEERED AND INSTALLED AS REQUIRED TO SUPPORT THE AXLE LOADS OF EMERGENCY VEHICLES. A LOAD CAPACITY SUFFICIENT TO MEET THE REQUIREMENTS FOR HS-20 LOADING (16 KIPS/WHEEL) AND A TOTAL VEHICLE LIVE LOAD OF 80,000 POUNDS IS CONSIDERED COMPLIANT WITH THIS REQUIREMENT.
- FIRE LANES DESIGNATED ON SITE PLANS SHALL BE REGISTERED WITH THE BASTROP FIRE DEPARTMENT AND INSPECTED FOR FINAL APPROVAL.
- THE MINIMUM VERTICAL CLEARANCE REQUIRED FOR EMERGENCY VEHICLE ACCESS ROADS OR DRIVES IS 13 FEET - 6 INCHES FOR THE FULL WIDTH OF THE ROADWAY OR DRIVEWAY.
- DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN TEN FEET OF COMBUSTIBLE WALLS, OPENINGS, OR COMBUSTIBLE ROOF EAVE LINES.



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TEXAS FIRM# 23586

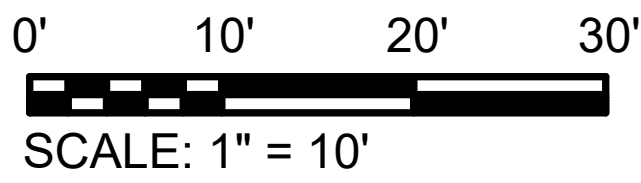
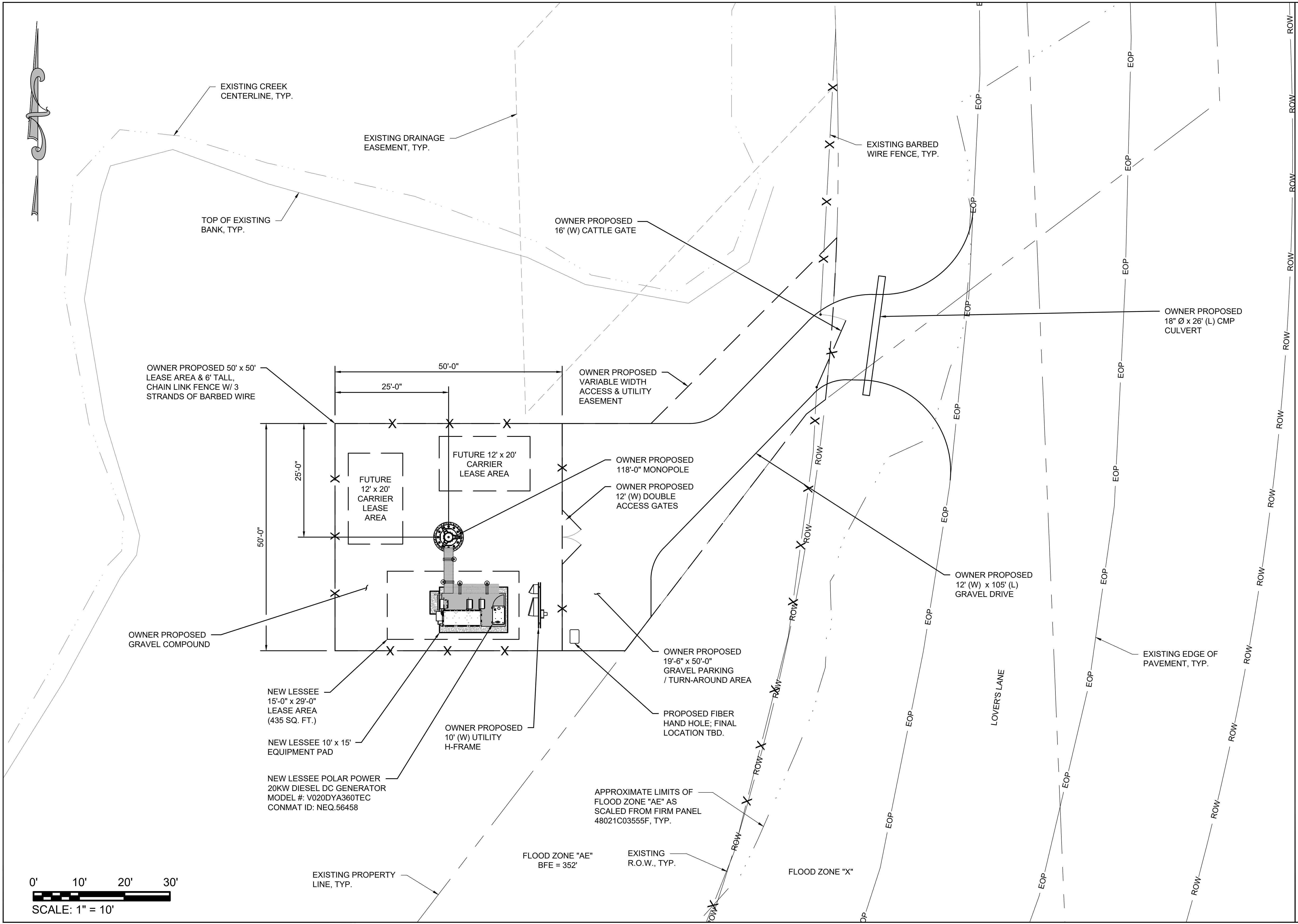


SITE NAME	BASTROP MIDDLE SCHOOL
SITE NUMBER	US-TX-6245

SITE ADDRESS	LOVER'S LANE BASTROP, TX 78602
SITE TYPE	RAWLAND
PROPERTY ACREAGE	1.76 ACRES

SHEET TITLE	OVERALL SITE LAYOUT PLAN
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SHEET NUMBER	REVISION
C-101	0





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TEXAS FIRM# 23586



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SITE TYPE	RAWLAND
PROPERTY ACREAGE	1.76 ACRES

SHEET TITLE	
SITE LAYOUT PLAN	
SHEET NUMBER	REVISION
C-102	0

EROSION NOTES:

1.

CLEARING AND GRUBBING SHALL NOT BE INITIATED MORE THAN 10 CALENDAR DAYS PRIOR TO GRADING OR EARTH MOVING ACTIVITIES UNLESS THE AREA IS TEMPORARILY SEEDED.
1.

ALL DISTURBED AREAS SHALL BE PROPERLY STABILIZED AS SOON AS PRACTICABLE.
2.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED CONCURRENT WITH CLEARING OPERATIONS. AND SHALL BE FUNCTIONAL PRIOR TO ANY EARTH MOVING OPERATIONS.
3.

CONSTRUCTION SHALL BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED SOIL AREAS AND SHALL BE PHASED FOR PROJECTS THAT HAVE OVER 50 ACRES OF SOIL DISTURBANCE. HOWEVER, PRIORITY SHALL BE GIVEN TO FINISHING OPERATIONS AND PERMANENT EROSION CONTROL MEASURES OVER TEMPORARY EROSION CONTROL MEASURES ON ALL PROJECTS.
4.

SOIL MATERIALS MUST BE PREVENTED FROM ENTERING WATERS OF THE STATE / U.S. EROSION AND SEDIMENTATION CONTROL MEASURES TO PROTECT WATER QUALITY MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. SILT FENCE MUST BE INSTALLED ALONG THE BASE OF ALL FILLS AND CUTS. ON THE DOWNHILL SIDE OF STOCKPILED SOIL. AND ALONG STREAM BANKS IN CLEARED AREAS TO PREVENT SEDIMENT MIGRATION IN TO STREAMS. THEY MUST BE INSTALLED ON THE CONTOUR, ENTRENCHED AND STAKED, AND EXTEND THE WIDTH OF THE AREA TO BE CLEARED.
5.

CHECK DAMS SHALL BE UTILIZED WHERE RUNOFF IS CONCENTRATED. CLEAN ROCK, BRUSH, SANDBAG, OR CHECK DAMS SHALL BE PROPERLY CONSTRUCTED TO DETAIN RUNOFF AND TRAP SEDIMENT. CLEAN ROCK IS ROCK OF VARIOUS TYPE AND SIZE, DEPENDING UPON APPLICATION, THAT CONTAINS NO FINES, SOILS, OR OTHER WASTES OR CONTAMINANTS.
6.

TEMPORARY OR PERMANENT SOIL STABILIZATION SHALL BE ACCOMPLISHED WITHIN 15 DAYS AFTER FINAL GRADING OR OTHER EARTHWORK. PERMANENT SOIL STABILIZATION SHALL REPLACE TEMPORARY STABILIZATION AS SOON AS PRACTICABLE.
7.

THE CONTRACTOR SHALL INSTALL A RAIN GAUGE ON-SITE AND MAINTAIN IT IN GOOD WORKING CONDITION. THE CONTRACTOR SHALL RECORD DAILY PRECIPITATION ON THE PROJECT AND PROVIDE THIS INFORMATION TO THE ENGINEER ON A MONTHLY BASIS.
8.

INSPECTIONS OF EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DONE BEFORE ANTICIPATED STORM EVENTS (OR SERIES OF STORM EVENTS SUCH AS INTERMITTENT SHOWERS OVER ONE OR MORE DAYS) AND WITHIN 24 HOURS AFTER THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER, AND AT LEAST TWALK-IN-CABINETE PER WEEK, 72 HOURS APART. THE RECORD OF INSPECTIONS MUST BE RETAINED ON SITE DURING THE DURATION OF THE PROJECT.
9.

OUTFALL POINTS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING IMPACTS TO SURROUNDING WATERS. LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE ROADWAY SEDIMENT TRACKING.
10.

UPON CONCLUSION OF THE INSPECTIONS, EROSION AND SEDIMENT CONTROL MEASURE FOUND TO BE INEFFECTIVE SHALL BE REPAIRED, REPLACED, OR MODIFIED BEFORE THE NEXT RAIN EVENT, IF POSSIBLE, BUT IN NO CASE MORE THAN SEVEN DAYS AFTER THE CONDITION IS IDENTIFIED.
11.

THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN ON-SITE (OR AT A NEARBY OFFICE).
12.

THE OPERATION OF EQUIPMENT IN WATERS OF THE STATE / U.S., INCLUDING WETLANDS, SHALL BE ONLY AS SHOWN ON THE PROJECT PLANS AND/OR AS SO SPECIFIED IN THE ARAP AND/OR SECTION 404 PERMIT (S). ANY ADDITIONAL PERMITS REQUIRED BY THE CONTRACTOR'S METHOD OF OPERATION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN.
13.

EXCAVATION AND FILL ACTIVITIES SHALL BE SEPARATED FROM FLOWING WATERS. ALL SURFACE WATER FLOWING TOWARD THE EXCAVATION OR FILL WORK SHALL BE DIVERTED THROUGH UTILIZATION OF COFFERDAMS, BERMS, OR TEMPORARY CHANNELS. TEMPORARY DIVERSION CHANNELS MUST BE PROTECTED BY NON-ERODIBLE MATERIAL AND LINED TO THE EXPECTED HIGH WATER LEVEL. COFFERDAMS MUST BE CONSTRUCTED OF SANDBAGS, CLEAN ROCK, STEEL SHEETING OR OTHER NON-ERODIBLE MATERIAL. CLEAN ROCK IS ROCK OF VARIOUS TYPE AND SIZE, DEPENDING UPON APPLICATION, THAT CONTAINS NO FINES, SOILS, OR OTHER WASTES OR CONTAMINANTS.
14.

THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN A PROACTIVE METHOD TO PREVENT LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS FROM ENTERING WATERS OF STATE / U.S.
15.

THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO ENSURE THAT PETROLEUM PRODUCTS OR OTHER CHEMICAL POLLUTANTS ARE PREVENTED FROM ENTERING WATERS STATE / U.S. ALL EQUIPMENT REFUELING, SERVICING, AND STAGING AREAS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS, RULES, REGULATIONS, AND ORDINANCES: INCLUDING THOSE OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA). APPROPRIATE CONTAINMENT MEASURE FOR THESE AREAS SHALL BE UTILIZED. ALL SPILLS MUST BE REPORTED TO THE APPROPRIATE AGENCY, AND MEASURE SHALL BE TAKES IMMEDIATELY TO PREVENT THE POLLUTION OF WATERS OF THE STATE/U.S., INCLUDING GROUNDWATER, SHOULD A SPILL OCCUR.
16.

BORROW AND WASTE DISPOSAL AREAS SHALL BE LOCATED IN NON-WETLAND AREAS AND ABOVE THE 100-YEAR, FEDERAL EMERGENCY MANAGEMENT AGENCY FLOODPLAIN. BORROW AND WASTE DISPOSAL AREAS SHALL NOT AFFECT ANY WATERS OF THE STATE / U.S. UNLESS THESE AREAS ARE SPECIFICALLY COVERED BY AN ARAP, 404, OR NPOES PERMIT, OBTAINED SOLELY BY THE CONTRACTOR.
17.

WETLAND AREAS SHALL NOT BE USED AS EQUIPMENT STORAGE, STAGING, OR TRANSPORTATION AREAS, UNLESS PROVIDED FOR IN THE PLANS.
18.

ANY DISAGREEMENT BETWEEN THE PROJECT PLANS, THE PROJECT AS CONSTRUCTED AND THE PERMIT OR PERMITS ISSUED FOR THE PROJECT, SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THE ENGINEER SHALL DECIDE WHICH HAS PRECEDENCE AND WHETHER PERMIT OR PLANS REVISIONS ARE NEEDED. IN GENERAL, PERMIT CONDITIONS WILL PREVAIL.
19.

THE EROSION AND SEDIMENT CONTROL MEASURE AND/OR PLAN SHALL BE MODIFIED AS NECESSARY SO THAT THEY ARE EFFECTIVE AT ALL TIMES THROUGHOUT THE COURSE OF THE PROJECT.

20.

FOR THE INSTALLATION OF BURIED UTILITIES (PIPES AND CABLES), TRENCHES SHALL BE BACKFILLED DAILY AS CONSTRUCTION PROCEEDS. BACKFILLED TRENCHES SHALL BE SEEDED AND MULCHED OR SODDED DAILY IF POSSIBLE, BUT NO LATER THAN SEVEN (7) DAYS AFTER TRENCHING. ANY TEMPORARY SPOIL PILE OF EXCAVATED EARTH SHALL BE LOCATED WITHIN THE PROJECT EROSION CONTROL MEASURES ARE NOT BACKFILLED OVERNIGHT. APPROPRIATE EROSION CONTROL AND SAFETY MEASURE WILL BE INSTALLED UNTIL SUCH TIME AS THE TRENCH IS BACKFILLED.
21.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO AND/OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES AS DETAILED IN THESE PLANS.
22.

THE EROSION, SEDIMENT CONTROL MEASURES, AND PLAN SHALL BE MODIFIED AS NECESSARY AS TO BE EFFECTIVE AND CURRENT AT ALL PHASES OF PROJECT.
23.

CONTROLS TO PREVENT ON-SITE EROSION AND TRANSPORT OF SEDIMENT OFF-SITE SHALL AT A MINIMUM CONFORM TO THE LATEST EDITION OF THE STATE EROSION AND SEDIMENT CONTROL HANDBOOK AND ALL APPLICABLE LOCAL CODES.
24.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL RESULT IN ALL WORK ON THE SITE IMMEDIATELY BEING BROUGHT TO A HALT UNTIL THE MEASURES CAN BE BROUGHT INTO COMPLIANCE WITH THE APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES AND ALL APPLICABLE LOCAL CODES.
25.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED CONCURRENT WITH CLEARING OPERATIONS AND SHALL BE FUNCTIONAL PRIOR TO ANY EARTH MOVING OPERATIONS. THE LOCATION OF SOME CONTROL MEASURES MAY HAVE TO BE ALTERED SLIGHTLY FROM WHAT IS SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE SIGNIFICANTLY DIFFERENT FROM FINAL DRAINAGE PATTERNS, OR AS ACTUAL SITE TOPOGRAPHY REQUIRES.
26.

SITE CONSTRUCTION MAY COMMENCE WHEN EROSION AND SEDIMENT CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION HAVE BEEN INSTALLED. SEDIMENT AND EROSION CONTROLS SHALL REMAIN UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED AND FINAL PAVING AND SURFACING IS COMPLETE.
27.

CONSTRUCTION EXITS SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE AND SHALL PREVENT THE TRACK-OUT OF SEDIMENT OR OTHER MATERIAL FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY. ANY MATERIAL APPEARING ON THE PUBLIC RIGHT-OF-WAY SHOULD BE REMOVED IMMEDIATELY. THE CONSTRUCTION EXIT SHALL BE MAINTAINED SO ITS PERFORMANCE DOES NOT DETERIORATE OVER THE SPAN OF THE PROJECT.
28.

PERIMETER CONTROLS SHALL BE INSTALLED AFTER THE INSTALLATION OF CONSTRUCTION EXITS.
29.

ALL SILT BARRIERS SHALL BE INSTALLED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL TUBES & WATTLES AND/OR SILT FENCES ARE INSTALLED AS SHOWN ON THE PLANS.
30.

DISTURBED AREAS LEFT EXPOSED AND UNWORKED FOR PERIODS OF GREATER THAN 7 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY VEGETATION.
31.

DISTURBED AREAS LEFT EXPOSED AND UNWORKED FOR PERIODS OF GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH AND PERMANENT VEGETATION.
32.

DUST CONTROL SHALL BE UTILIZED AS NEEDED AND MUST BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL CODES.
33.

AMENDMENTS AND/OR REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE ENGINEER.
34.

THE CONTRACTOR SHALL REMOVE SILT FROM THE SILT FENCE OR TUBES & WATTLES WHEN THE ACCUMULATED DEPTH IS ONE-HALF (1/2) OF THE HEIGHT OF THE CONTROL.
35.

ALL UTILITY LOCATIONS ARE APPROXIMATE, AND IT IS POSSIBLE SOME EXISTING UTILITIES ARE NOT SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THE LOCATIONS OF ALL UNDERGROUND UTILITIES VERIFIED AND MARKED PRIOR TO CONSTRUCTION.

GRADING NOTES :

1.

PROPOSED CONTOURS AND SPOT ELEVATIONS ARE SHOWN AT TOP OF CRUSHED STONE, TOP OF FOUNDATION, OR TOP OF TOPSOIL. SEE DETAILS FOR THICKNESS OF CRUSHED STONE. MASS GRADED AREAS AND CRUSHED STONE SHALL BE FINISHED WITHIN 4" OF GRADES SHOWN. FOUNDATIONS SHALL BE FINISHED WITHIN 0.5" OF GRADES SHOWN.
2.

ALL TREES, ROOTS, BRUSH, AND ORGANIC MATTER (TOPSOIL) SHALL BE REMOVED BEFORE BEGINNING FILL. FILL MATERIAL SHALL BE CLEAR SOIL CONTAINING NO ROCKS LARGER THAN 6 INCHES.
3.

FILLS SHALL BE FORMED OF SATISFACTORY MATERIAL PLACED IN SUCCESSIVE HORIZONTAL LAYERS OF NOT MORE THAN 6 INCHES IN LOOSE DEPTH FOR THE FULL WIDTH OF EACH STRIP. FILL SOIL SHALL BE PLACED AT A MOISTURE CONTENT THAT IS WITHIN MINUS 1% OR PLUS 3% A OF THE OPTIMUM MOISTURE CONTENT AND TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 698 (STANDARD PROCTOR). THE UPPER 12 INCHES OF FILL SHALL BE COMPACTED TO 98%.
4.

STANDARD PROCTOR TESTS (ASTM 698) SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY EMPLOYED BY THE CONTRACTOR. IN-PLACE DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT TO ENSURE PROPER PLACEMENT OF FILL MATERIAL.
5.

ALL DISTURBED AREAS SHALL RECEIVE GROUND COVER. ALL AREAS TO RECEIVE GROUND COVER SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL. ALL FOREIGN DEBRIS SHALL BE REMOVED BEFORE PLACING TOPSOIL. AREAS WITH LESS THAN 4:1 SLOPE SHALL BE SEEDED WITH FOUR POUNDS OF KENTUCKY 31 FESCUE AND ONE POUND OF ANNUAL RYE PER 1,000 SQFT. SLOPES STEEPER THAN 4:1 SHALL BE SEEDED WITH A MIXTURE OF 1/4 POUND SCARIFIED SERICEA LESPEDEZA. 1/4 POUND CROWN VETCH, AND ONE POUND KENTUCKY 31 FESCUE PER 1,000 SQFT WITH 30 POUNDS PER 1,000 SQFT OF 6-12-12 FERTILIZER. SLOPES 3:1 OR STEEPER SHALL BE COVERED WITH NORTH AMERICAN GREEN EROSION CONTROL BLANKET S150 INSTALLED PER MANUFACTURERS SPECIFICATIONS (OR ENGINEER APPROVED EQUAL) TO PREVENT EROSION. CONTRACTOR SHALL WARRANTY GROUND COVER AND SLOPES FOR A PERIOD OF 1 YEAR.
6.

CONFINE ALL CONSTRUCTION ACITIVITY TO PROPERTY OWNER'S PARCEL. DO NOT ENTER ADJACENT PROPERTY WITHOUT OBTAINING APPROVAL THROUGH TELLCO PARTNERSHIP.
7.

CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FENCE AND OTHER TEMPORARY EROSION CONTROL MEASURES AFTER GRASS IS ESTABLISHED AND STABILIZED.
8.

ALL DISTURBED AREAS NOT TO BE COVERED WITH GRAVEL, RIP RAP, PAVEMENT, OR OTHER STABILIZATION SHALL RECEIVE GROUND COVER. ALL AREAS TO RECEIVE GROUND COVER SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL
9.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON THE SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE CONTRACTOR'S EXPENSE.
10.

ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF-SITE OR AS DIRECTED BY THE LESSEE'S CONSTRUCTION MANAGER AND IN ACCORDANCE WITH JURISDICTIONAL AUTHORITIES.
11.

EXCAVATIONS ADJACENT TO EXISTING PAVEMENT SHALL BE MADE TO A NEAT SAW-CUT LINE.
12.

ALL TREES THAT ARE CUT OR KNOCKED DOWN WITHIN THE LIMITS OF DISTURBANCE SHALL BE DISPOSED OF IN ACCORDANCE WITH NOTE 10 OR MULCHED FOR LATER USE.



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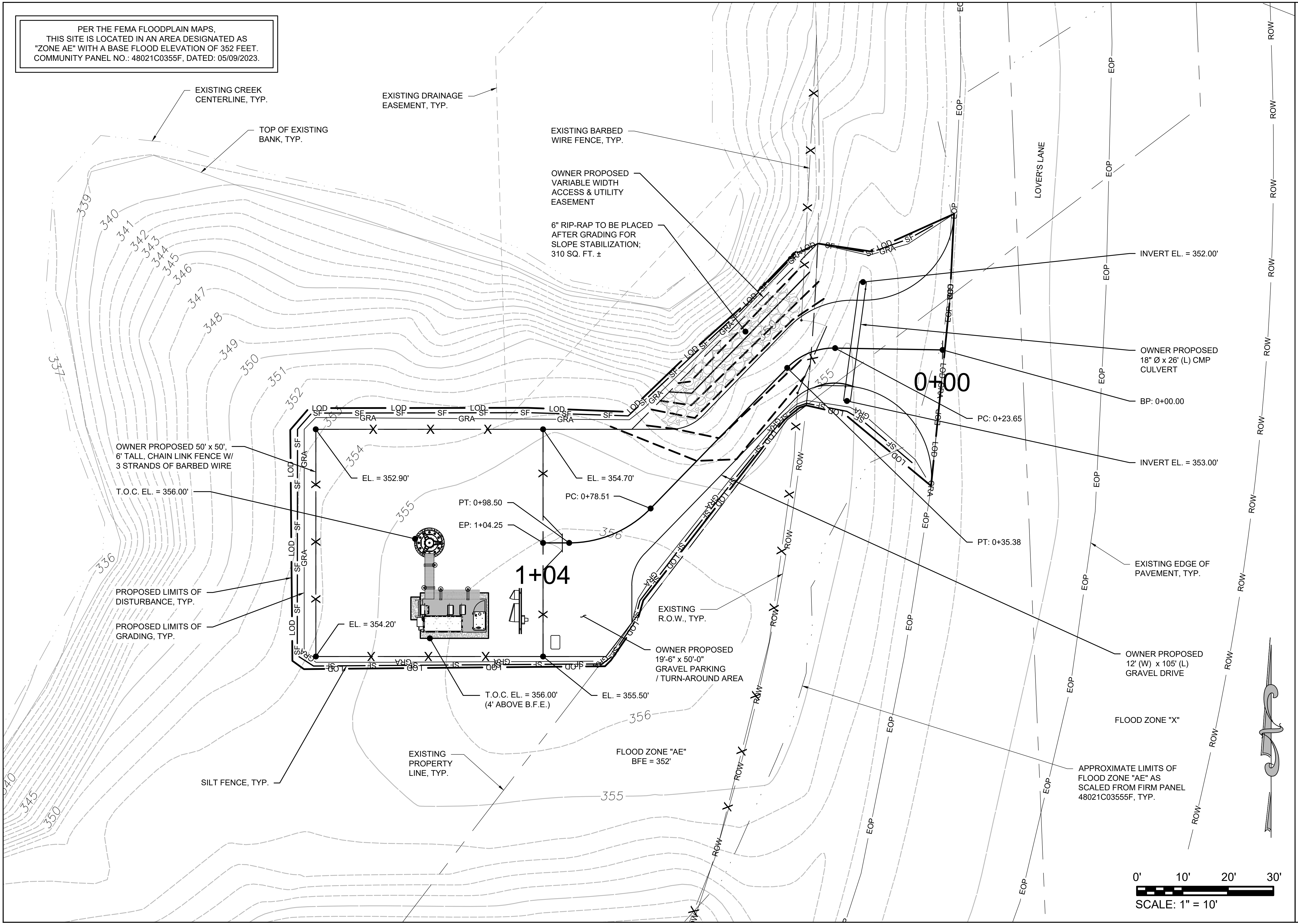


SITE NAME
BASTROP MIDDLE SCHOOL
SITE NUMBER
US-TX-6245

SITE ADDRESS
LOVER'S LANE BASTROP, TX 78602
SITE TYPE
RAWLAND
PROPERTY ACREAGE
1.76 ACRES

SHEET TITLE
EROSION NOTES

SHEET NUMBER	REVISION
C-200	0





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BASTROP, TX 78602

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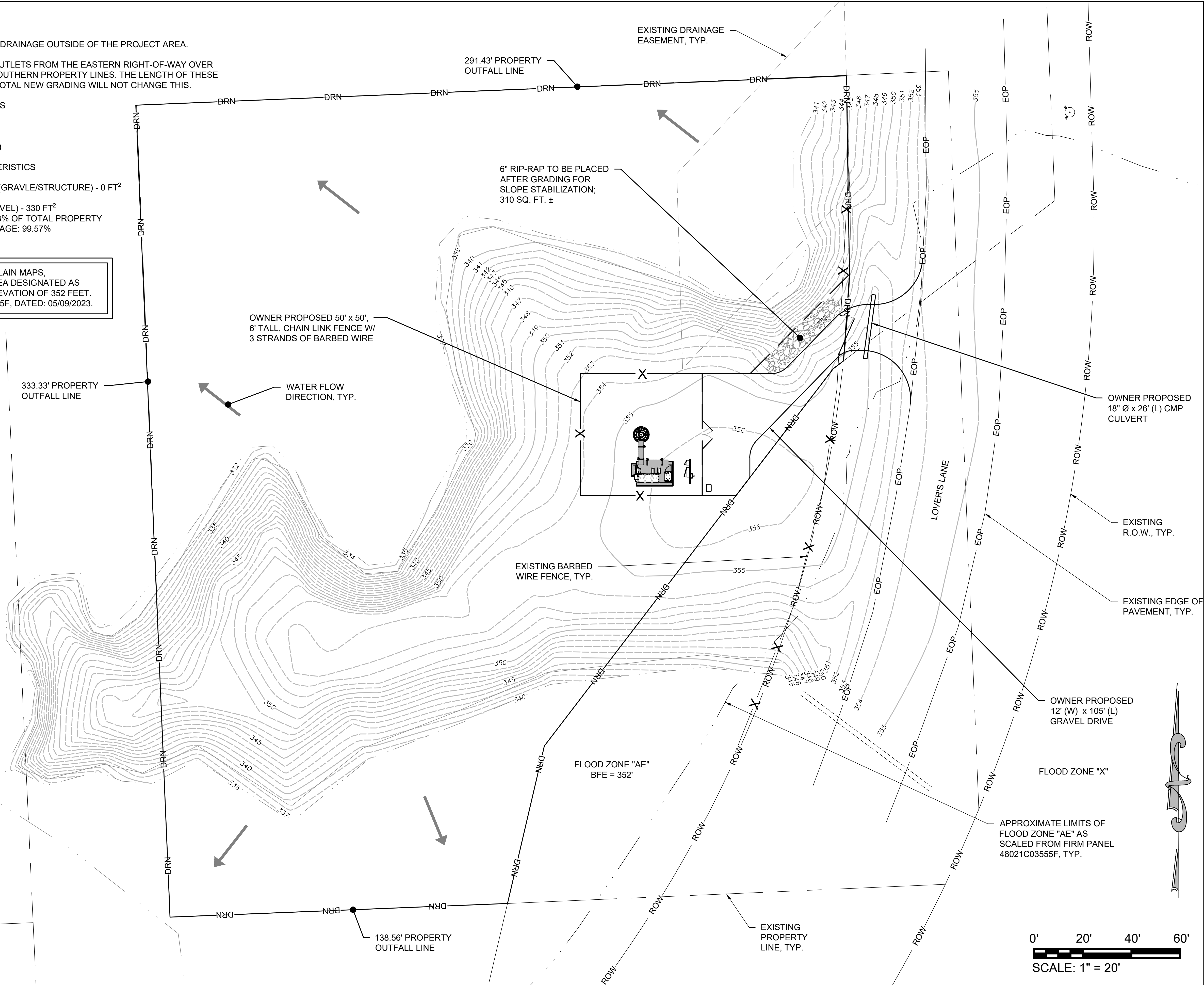
SHEET TITLE
SITE GRADING PLAN

SHEET NUMBER C-201	REVISION 0
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NOTES:

1. NO CHANGES TO THE PROPERTY'S DRAINAGE OUTSIDE OF THE PROJECT AREA.
2. THE PROJECT AREA CURRENTLY OUTLETS FROM THE EASTERN RIGHT-OF-WAY OVER THE NORTHERN, WESTERN, AND SOUTHERN PROPERTY LINES. THE LENGTH OF THESE PROPERTY LINES IS 763.32 FEET. TOTAL NEW GRADING WILL NOT CHANGE THIS.
3. DRAINAGE BASIN CHARACTERISTICS
 - 3.1 1.76 ACRES
 - 3.2 RATIONAL C (PRE) - 0.4
 - 3.3 RATIONAL C (POST) - 0.6
 - 3.4 $T_c = 10$ MIN. (TXDOT MINIMUM)
4. PROPERTY IMPERVIOUS CHARACTERISTICS
 - 4.1 TOTAL AREA - 76,878.63 FT²
 - 4.2 EXISTING IMPERVIOUS AREA (GRAVLE/STRUCTURE) - 0 FT² 0.0% OF TOTAL PROPERTY
 - 4.3 NEW IMPERVIOUS AREA (GRAVEL) - 330 FT²
 - 4.4 FINAL IMPERVIOUS AREA: 0.43% OF TOTAL PROPERTY
 - 4.5 FINAL OPEN SPACE PERCENTAGE: 99.57%

PER THE FEMA FLOODPLAIN MAPS,
THIS SITE IS LOCATED IN AN AREA DESIGNATED AS
"ZONE AE" WITH A BASE FLOOD ELEVATION OF 352 FEET.
COMMUNITY PANEL NO.: 48021C0355F, DATED: 05/09/2023.



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TEXAS FIRM# 23586

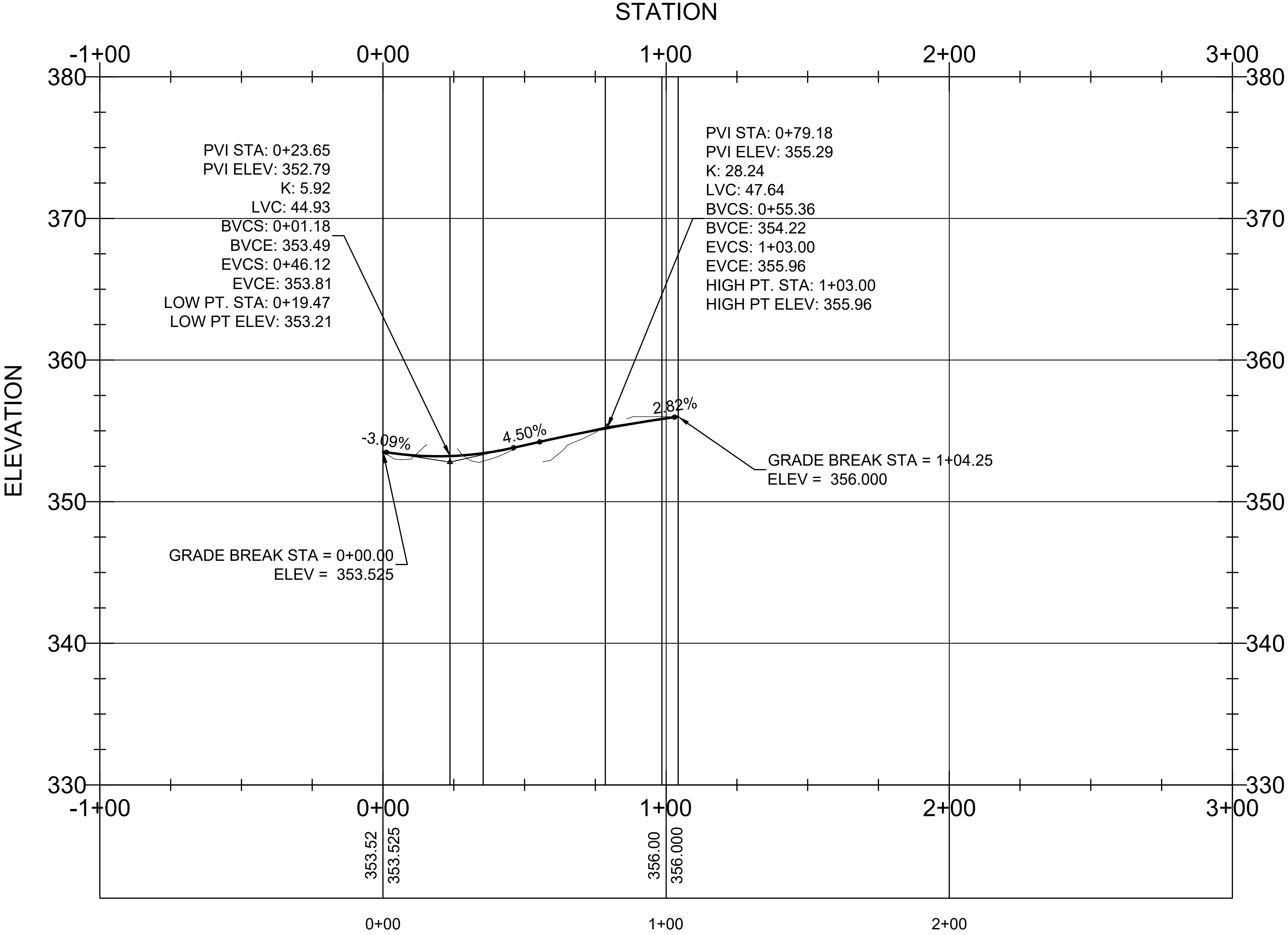


SITE NAME	BASTROP MIDDLE SCHOOL
SITE NUMBER	US-TX-6245
SITE ADDRESS	LOVER'S LANE BASTROP, TX 78602
SITE TYPE	RAWLAND
PROPERTY ACREAGE	1.76 ACRES

SHEET TITLE	SITE DRAINAGE PLAN
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SHEET NUMBER	REVISION
C-202	0

ACCESS DRIVE PROFILE



CUT / FILL SUMMARY :

TOTAL LIMITS OF DISTURBANCE :	TOTAL LIMITS OF GRADING :	NAME	2D AREA	CUT	FILL	NET
		COMPOUND vs EG	3500.00 SQ FT	0 CU YD	0 CU YD	0 CU YD <FILL>
		DRIVE vs EG	1251.00 SQ FT	0 CU YD	32.84 CU YD	32.84 CU YD <FILL>
		TOTAL ROCK DISPLACEMENT	-	63.30 CU YD	-	63.30 CU YD <CUT>
0.16 AC ±	0.15 AC ±	TOTALS	4751.00 SQ FT	63.30 CU YD	32.84 CU YD	30.46 CU YD <CUT>



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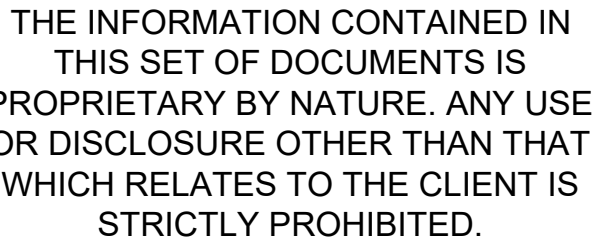
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SITE NUMBER	US-TX-6245

SITE ADDRESS	LOVER'S LANE BASTROP, TX 78602
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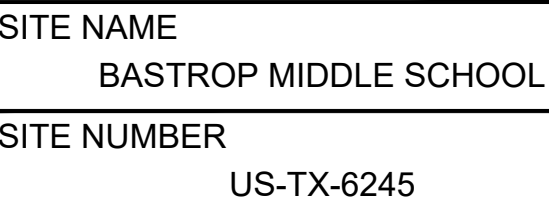
SITE TYPE	RAWLAND
PROPERTY ACREAGE	1.76 ACRES

SHEET TITLE	DRIVEWAY PROFILE
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SHEET NUMBER	REVISION
C-203	0



REVISIONS			
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#	DATE	BY	DESCRIPTION



SITE TYPE	RAWLAND
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SHEET TITLE

SITE DETAILS

SHEET NUMBER	REVISION
C-301	0



SILT FENCE DETAIL

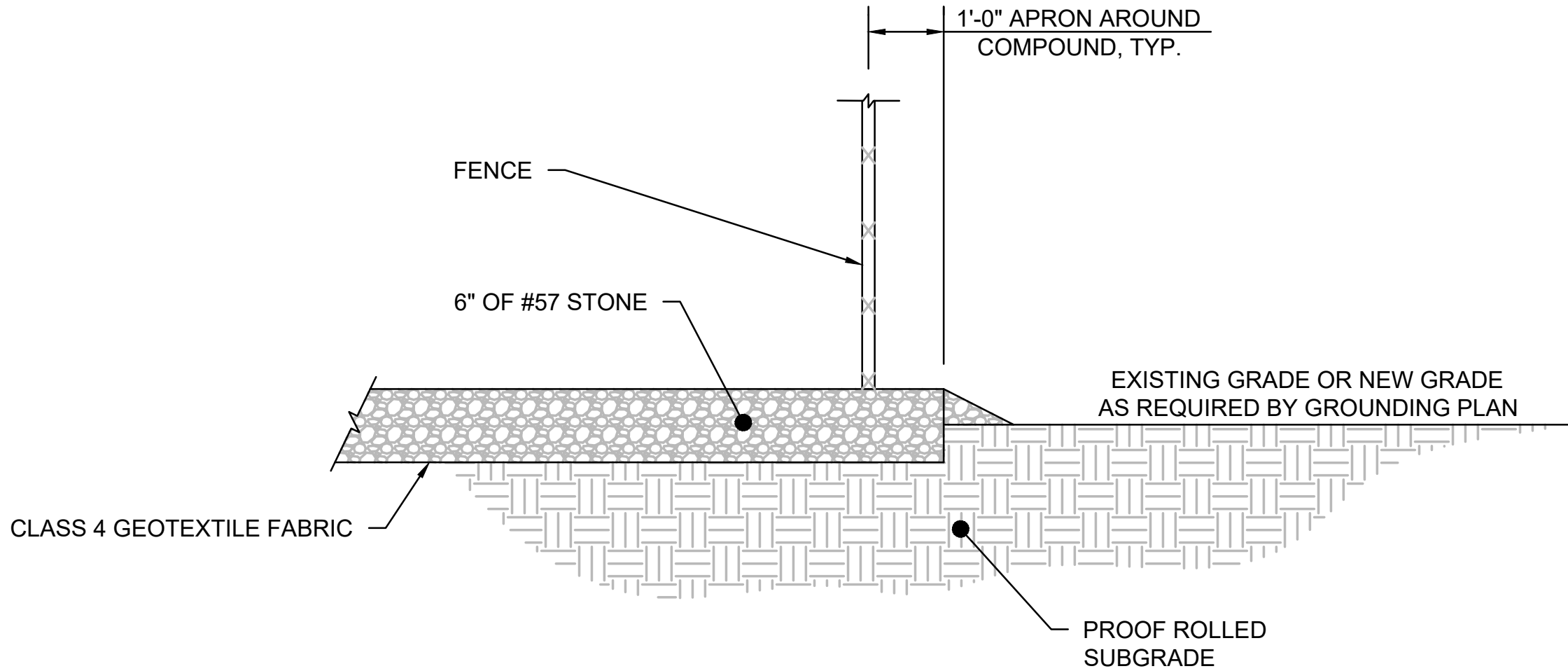
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CULVERT W/ RIP RAP DETAIL (2)



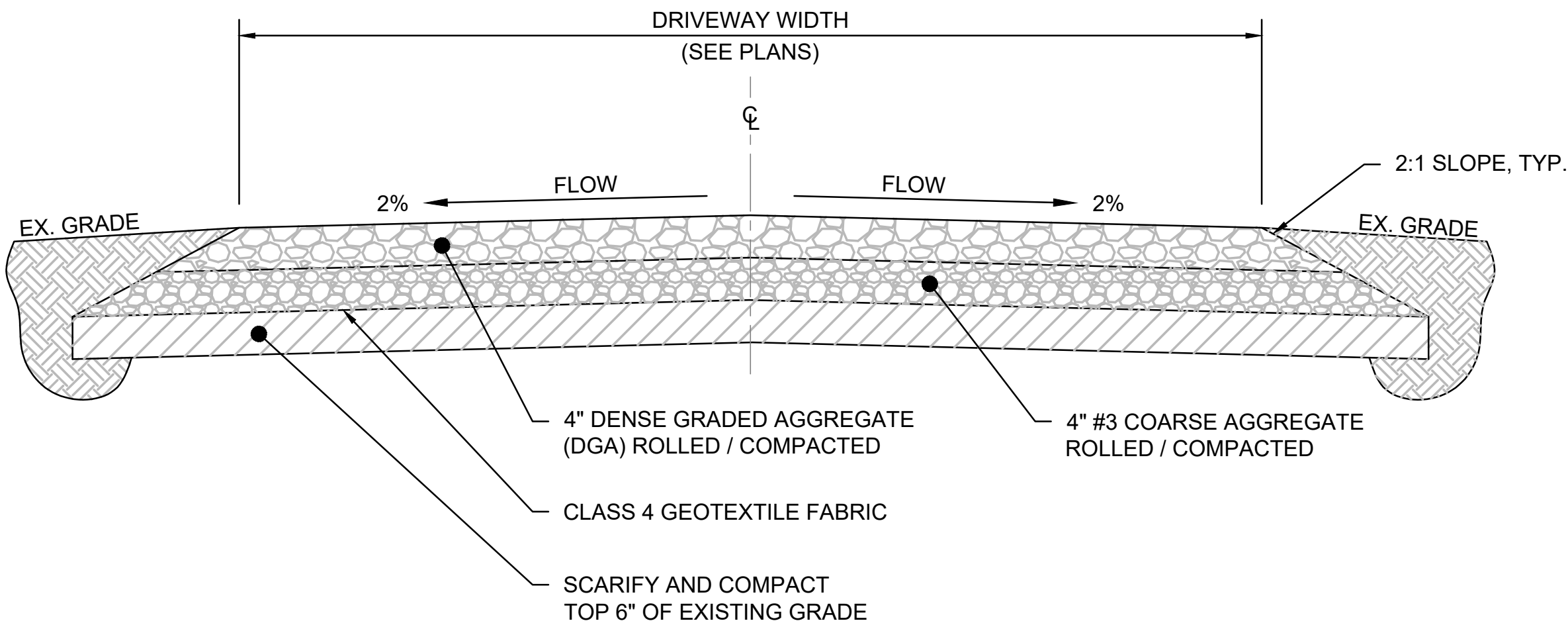


COMPOUND SURFACING ①
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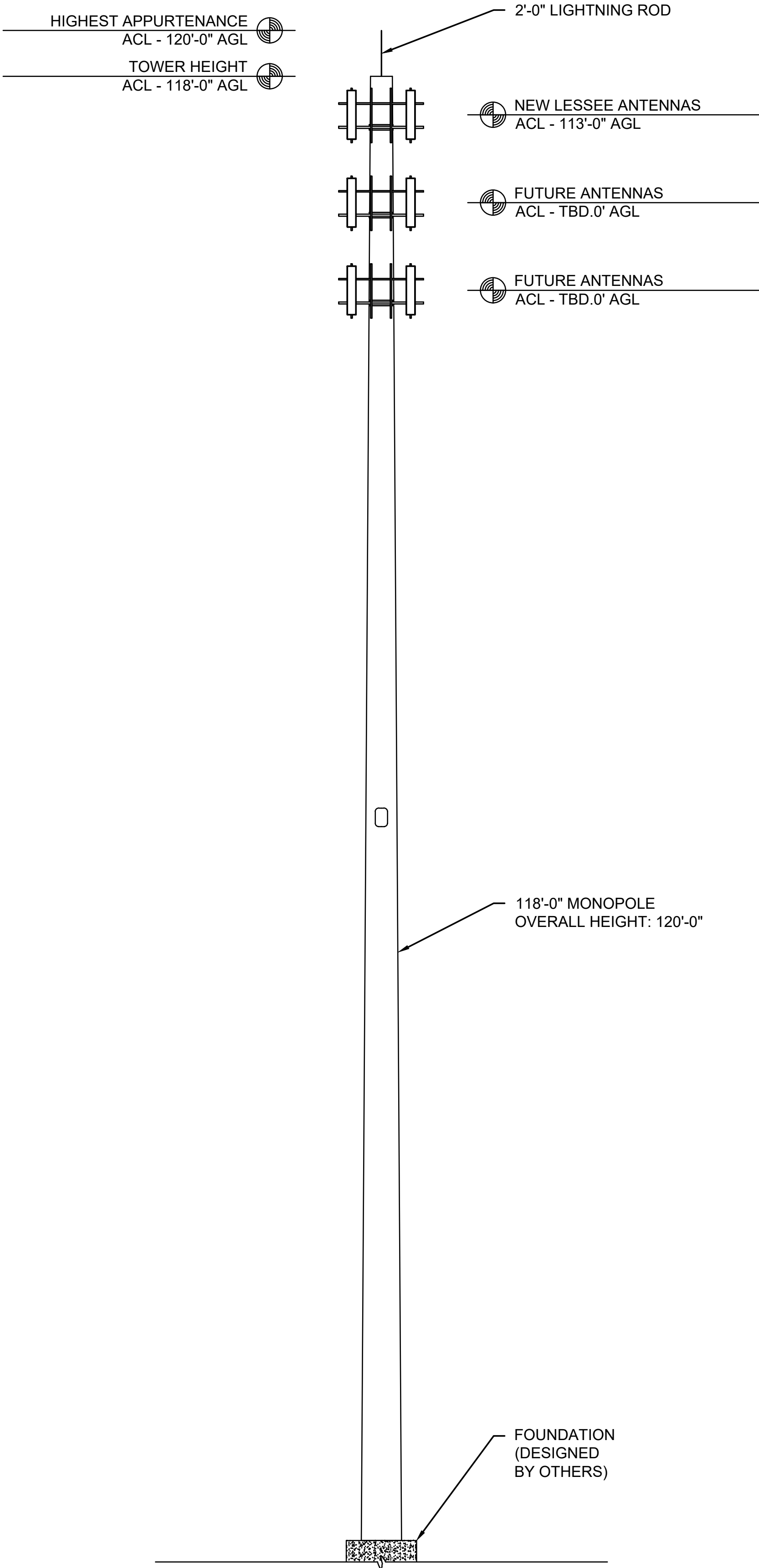
NOTE:

1. THE DRIVEWAY DEPICTED WITHIN THIS DOCUMENT IS DESIGNED TO SUPPORT A STANDARD ESAL AND WILL SUPPORT A LOADED 80,000 LB. FIRE TRUCK.

NOTE:
REMOVE TOP 6" OF SOIL FROM SUBGRADE.



GRAVEL ACCESS ROAD ②
NTS



TOWER ELEVATION ③
NTS



THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

DRAWN BY	CAD
CHECKED BY	CAE

REVISIONS			
0	08/19/25	CAD	ZONING ISSUE
#	DATE	BY	DESCRIPTION



TEXAS FIRM# 23586



SITE NAME
BASTROP MIDDLE SCHOOL
SITE NUMBER
US-TX-6245

SITE ADDRESS
LOVER'S LANE BASTROP, TX 78602

SITE TYPE
RAWLAND

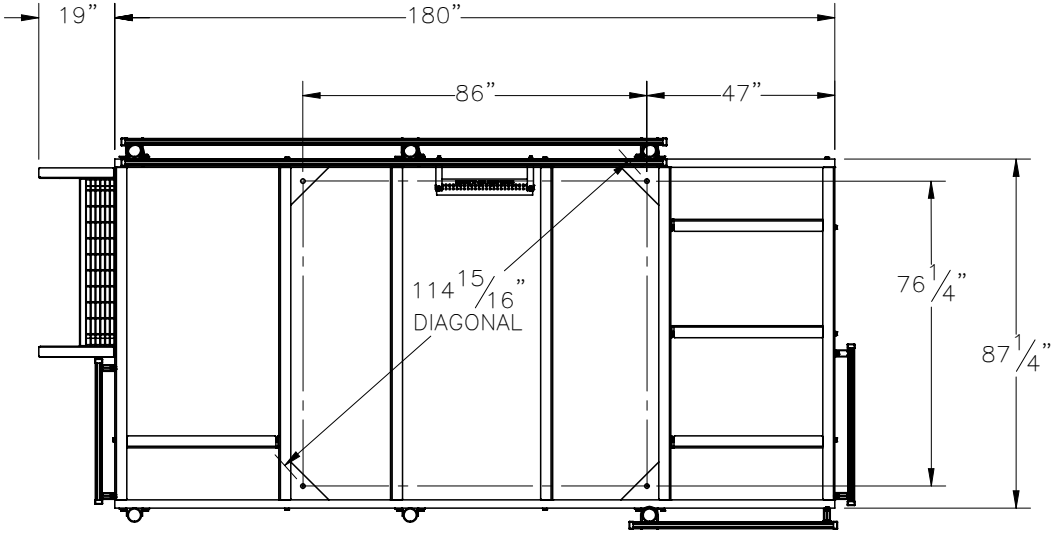
PROPERTY ACREAGE
1.76 ACRES

SHEET TITLE
SITE DETAILS

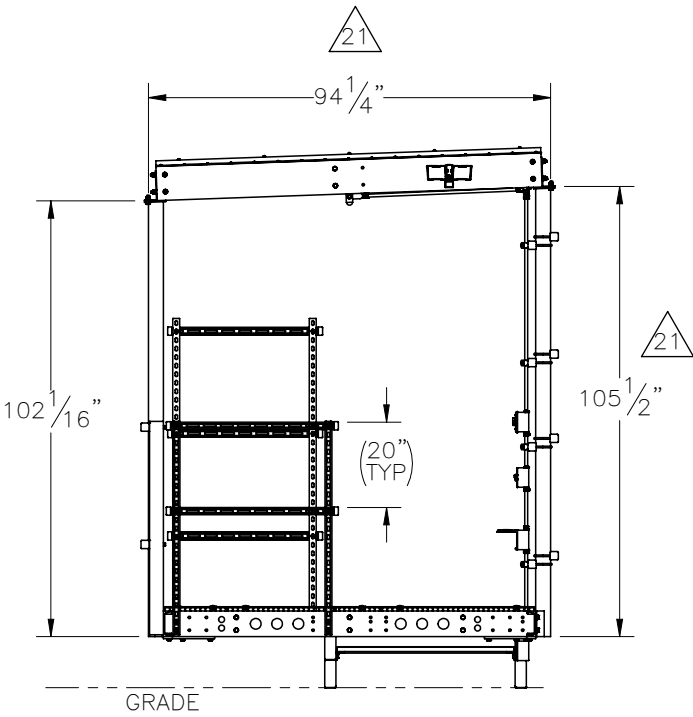
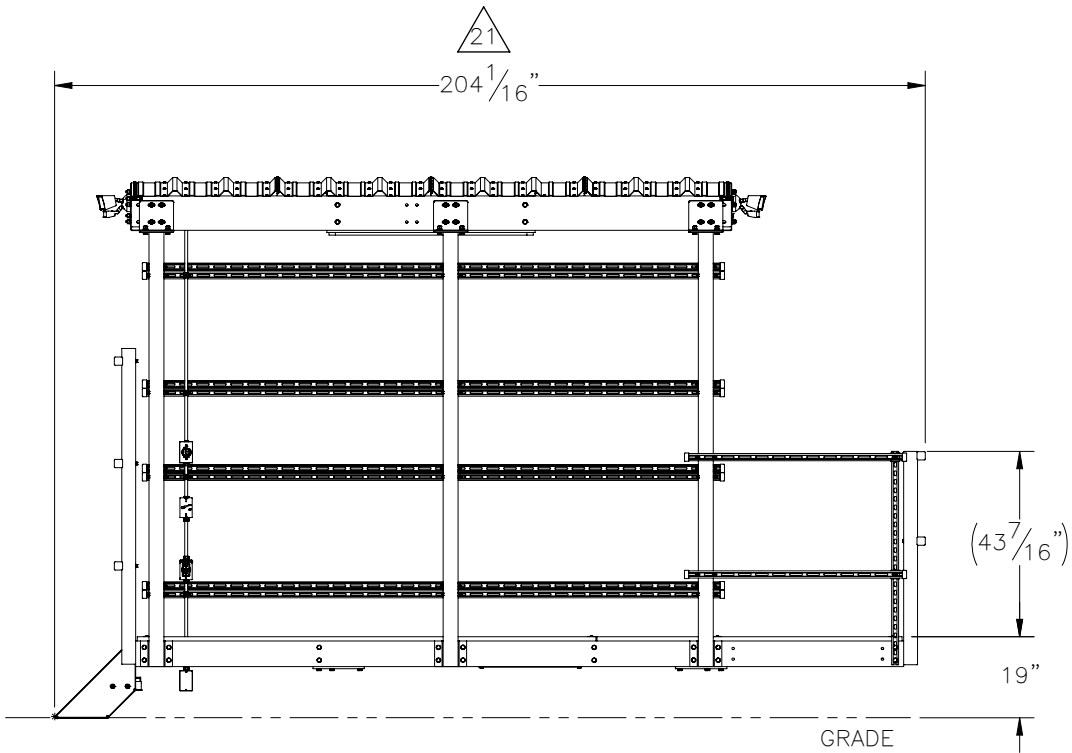
SHEET NUMBER	REVISION
C-302	0

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF ELECTRO MECHANICAL INDUSTRIES, INC. ANY REPRODUCTION IN PART OR WHOLE WITHOUT THE WRITTEN PERMISSION OF ELECTRO MECHANICAL IND., IS PROHIBITED.

REVISIONS					
REV.	DCN #	DESCRIPTION	DATE	BY	APPROVED
21	01126	1001-0020-0056 & 1001-0030-0029 UPDATED TO REFLECT PIPE DIA. CHANGE FROM 3.5" TO 3". 1000-0000-0075 SS TO A36 GALV. 1000-0010-0102_8 TO 51-3/4" FROM 50-3/4". 002-0BG-0258 FROM QTY 10 TO 12. 002-00U-G014 TO 002-00U-G046. 002-0SW-H001 FROM QTY 6 TO 2. 309-000-0004 TO 309-000-0008. ADDED 002-0BG-0010 QTY 8. 002-0BG-0303 TO 002-0BG-0012 AND QTY 20 TO 12	03/07/22	JTR	JPB



CANOPY & GRATING
HIDDEN FOR CLARITY



ITEM NO.	QTY REQD	PART NUMBER	DESCRIPTION	LENGTH	WEIGHT
1	1	1001-0020-0056	EMERSON BOLT TOGETHER PLATFORM 87" X 180"		1600.8
2	1	1001-0030-0029	BOLT TOGETHER CANOPY 140.875" X 87.1875"		932.0
3	1	1003-0020-0002	1 TREAD STAIR ASS'Y (42" WIDE)		55.9
4	1	1000-0000-0119	ELECTRICAL KIT		20.8
5	3	1000-0010-0102_5	UNISTRUT CHAN., 1.625 X 3.25, 12 GA., SLOTTED, P5000T, US2-P5000T-A	50"	12.2
6	3	1000-0010-0102_6	UNISTRUT CHAN., 1.625 X 1.625, 14 GA., LONG SLOTS, P1100SL, US2-P1100SL-A	36"	3.4
7	8	1000-0010-0102_7	UNISTRUT CHAN., 1.625 X 1.625, 14 GA., LONG SLOTS, P1100SL, US2-P1100SL-A	136 1/8"	12.9
8	2	1000-0010-0102_8	UNISTRUT CHAN., 1.625 X 1.625, 14 GA., LONG SLOTS, P1100SL, US2-P1100SL-A	51 3/4"	4.9
9	2	1000-0010-0102_9	UNISTRUT CHAN., 1.625 X 1.625, 14 GA., LONG SLOTS, P1100SL, US2-P1100SL-A	40"	3.8
10	2	1000-0010-0102_11	UNISTRUT CHAN., 1.625 X 3.25, 12 GA., SLOTTED, P5000T, US2-P5000T-A	74"	18.0
11	4	A-000-250	CORNER FOOT MOUNT ASSY, 2 LEVELING WASHERS		14.1
12	1	1000-0000-0075	GROUND BAR KIT		0.00
13	12	002-0BG-0258	HB, .375-16 X 4.50 LG., PT X 1.00, GR. 5, HDG	4.50	0.159
14	64	002-0NG-0018	NUT, HEX, .375-16UNC, GR 5, GALV		0.02
15	76	002-0FW-G005	WASHER, FLAT, .375, GALV		0.01
16	64	002-0LW-G005	WASHER, SPLIT LOCK, .375 INCH, GALV.		0.01
17	26	002-00U-G046	U-BOLT, .375-16 X 1.75 THD LNG., 3.625 I.D X 5.25 HT, GALV		0.052
18	2	002-0SW-H001	WASHER, SQUARE, .50" ID X 2" X .25"		0.27
19	30	309-000-0008	STRUT CHANNEL CAP 1.625" X 1.625"		0.05
20	8	002-0BG-0010	HXB, .500-13 X 1.50 LG., PT X 1.00, A325, HDG	1.50	0.14
21	12	002-0BG-0012	BOLT, HX HD, .500-13UNC X 1.75 LG, ASTM A325, GALV		0.2
22	40	002-0FW-G002	FW, .50, F436, HDG		0.02
23	20	002-0LW-G002	WASHER, SPLIT LOCK, .500", GALV		0.01
24	20	002-0NG-0010	NUT, HEX, .500-13UNC, GR 2H, GALV		0.06

SURFACE FINISH ☒ UNLESS OTHERWISE SPECIFIED		UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES		APPROVALS		DATE		 ELECTRO MECHANICAL INDUSTRIES, INC. 11230 NEESHAU DRIVE HOUSTON, TEXAS 77065 1-800-453-0050	
MATERIAL		TOLERANCES		DRAWN		10/23/2018		TITLE: 87" X 180" BOLT TOGETHER PLATFORM	
SEE PARTS LIST		.0 ± .06 .00 ± .015 .000 ± .005		J. CRITELLI					
THIRD ANGLE PROJECTION 		FRACTIONS ± 1/16 ANGLES ± .25°		CHECKER		11/1/2018			
		HOLES:		C. SANCHEZ					
		DRILLED OR PUNCHED ± 1/32		ENGINEER		11/24/2018			
NEXT ASSY		USED ON		J. BREEN					
				PRODUCTION		11/24/2018			
APPLICATIONS		BURNED ± 1/32		J. SUNDERLAND					
								SIZE B	
								DRAWING NO.	
								1000-0010-0102	
								REV 21	
								SCALE: 1:45	
								WEIGHT: 2891.5 lbs.	
								SHEET 1 OF 4	

Document
EMI
Control

CANOPY TOP HIDDEN FOR CLARITY

UNISTRUT/PIPE
U-BOLT CONNECTION
DETAIL
TYP

UNISTRUT CONNECTION
W/ 4.5" BOLTS
DETAIL
TYP

UNISTRUT TO FRAME
CONNECTION
THIS POST ONLY
W/ 1 SPACER
DETAIL
2X

DETAIL A
TYP. FOUNDATION
INSTALLATION
(FOUNDATION SUPPLIED
SEPERATELY)

*MOVE VERTICAL UNISTRUT UP .56"
FROM FLUSH BOTTOM TO USE SLOTS
FOR BOTH CONNECTIONS
USES PLATFORM SUBASSY BOLTS

BOLTS ON THE CANOPY CORNERS
THROUGH THE CROSS BEAMS ARE
PROVIDED WITHIN SUBASSY

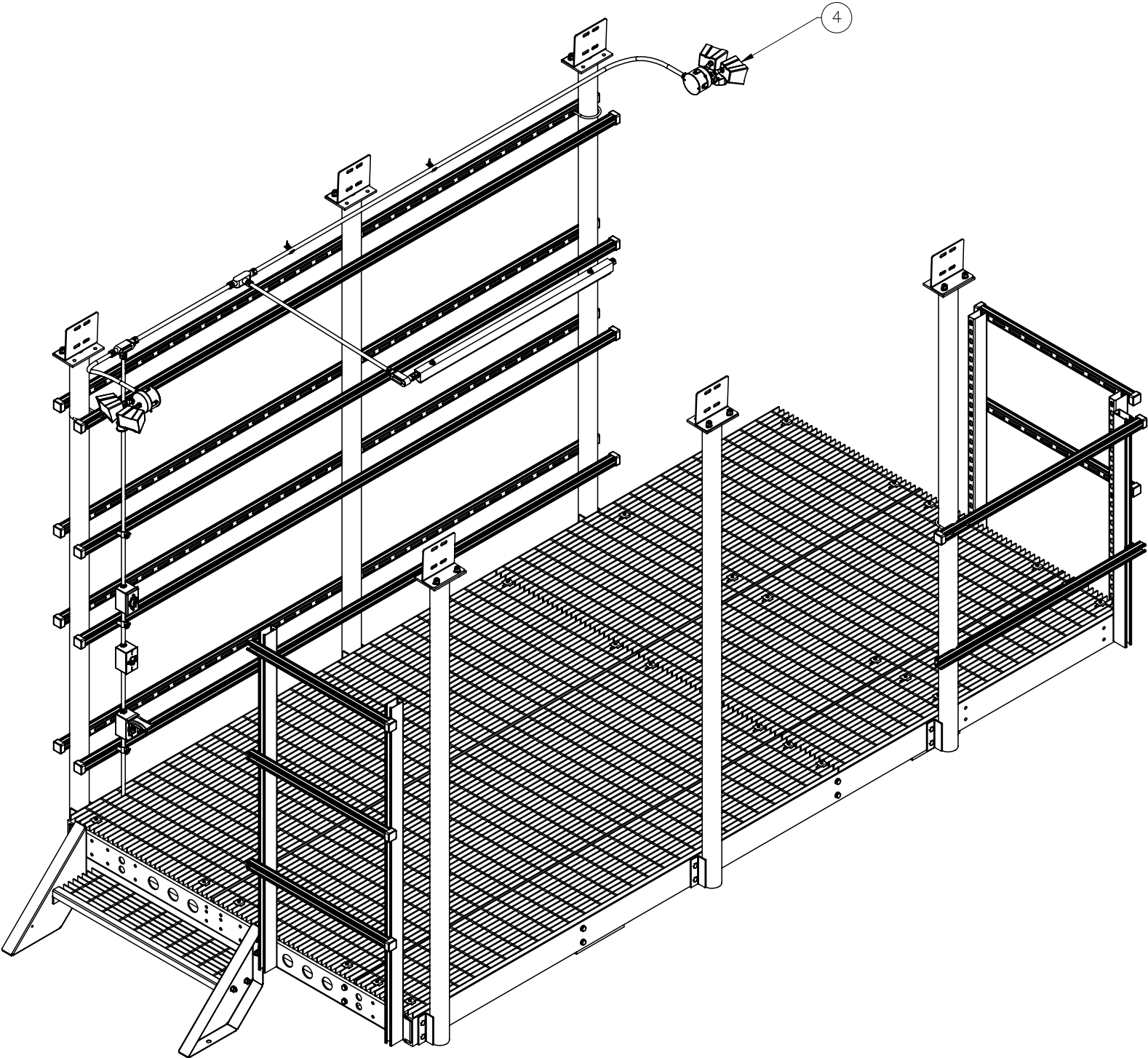
UNISTRUT CONNECTION DETAIL
8X .5 X 1.5 LG HW

POST TO FRAME
CONNECTION
DETAIL
TYP

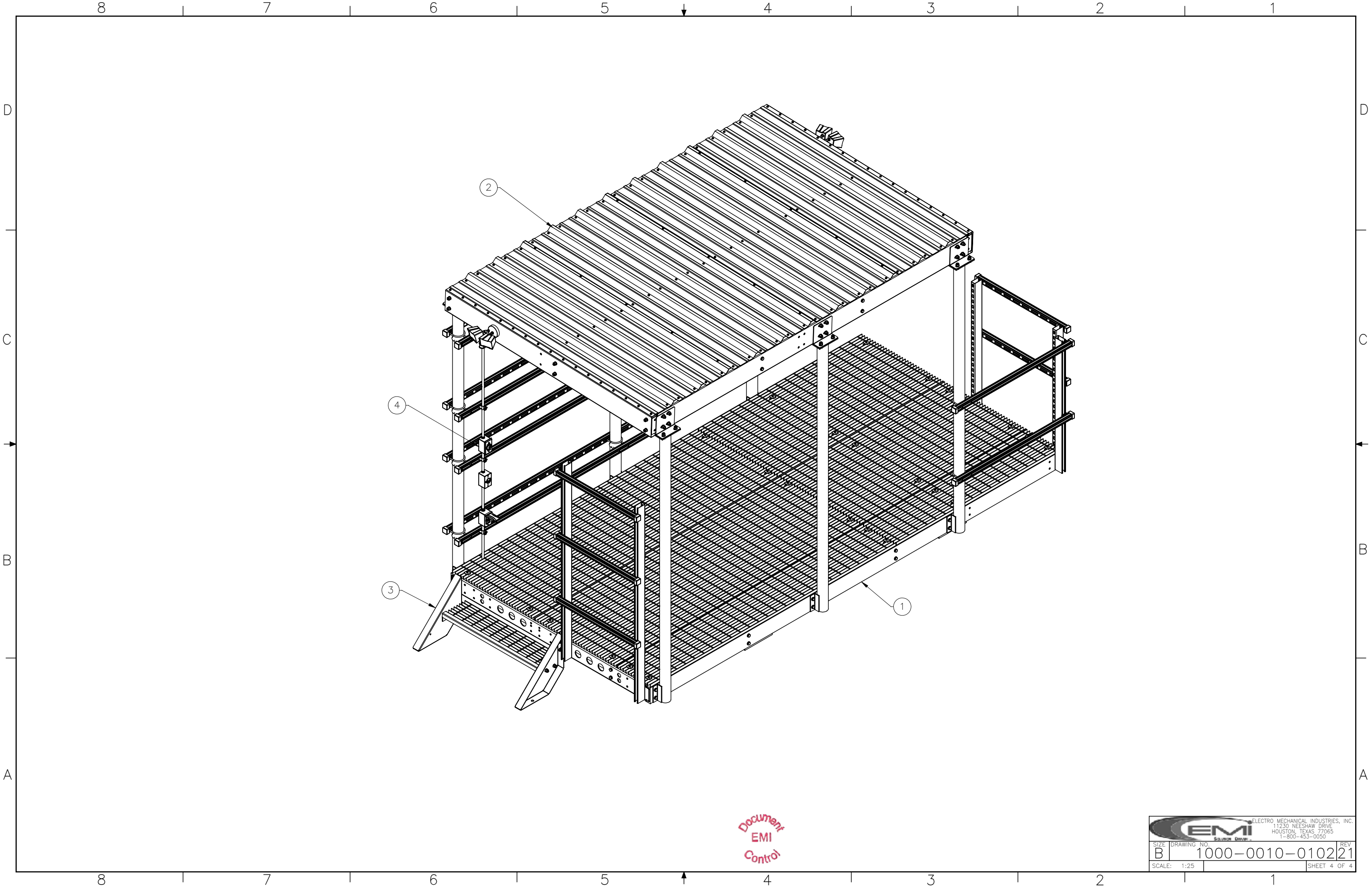
Document
EMI
Control

		ELECTRO MECHANICAL INDUSTRIES, INC. 11230 NEESHAU DRIVE HOUSTON, TEXAS 77065 1-800-453-0050	
SIZE	DRAWING NO.	REV	
B	1000-0010-0102	21	
SCALE: 1:25		SHEET 2 OF 4	

CANOPY TOP HIDDEN FOR CLARITY

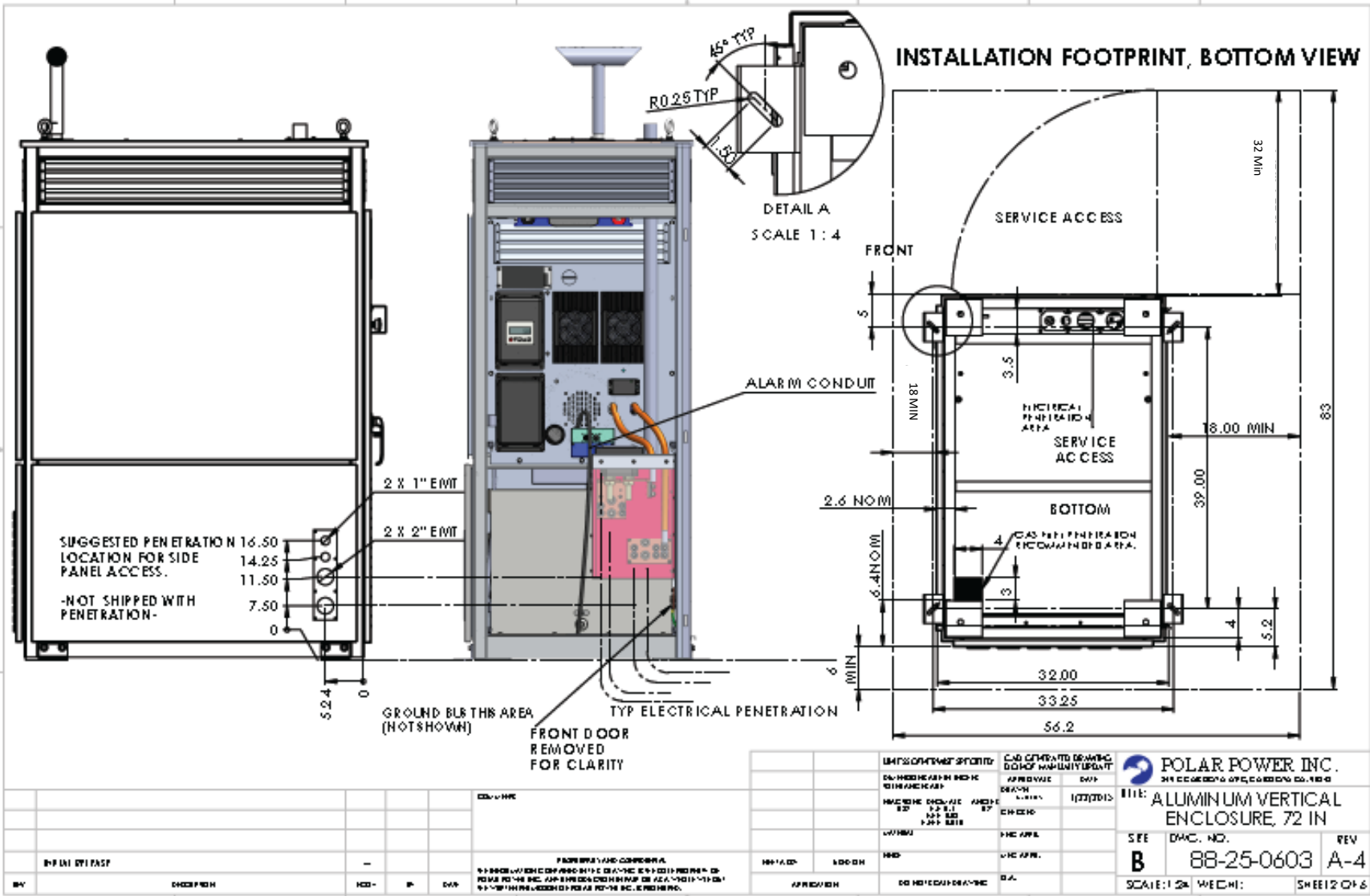


Document
EMI
Control



Document
EMI
Control

360Amps DIMENSIONS V020DYA360TEC



FLOODPLAIN MAP:

ZONING MAP:

ZONING SITE PLAN

PROPOSED WIRELESS TELECOMMUNICATIONS FACILITY WITH 118' MONOPOLE AND EQUIPMENT

PROJECT INFORMATION:

TOWER OWNER

VERTICAL BRIDGE
750 PARK OF COMMERCE DRIVE,
BOCA RATON, FL 33487

APPLICANT

VINCENT GERARD & ASSOCIATES
5524 BEE CAVES ROAD #K4,
AUSTIN, TX 78746
CONTACT: VINCE HUEBINGER
PHONE: 512.328.2693

ZONING

PEC - EMPLOYMENT CENTER

SITE LOCATION

LAT. 30° 06' 09.55" N
LONG. 97° 18' 51.02" W

PROJECT TYPE

NEW 118' MONOPOLE
UNMANNED TELECOMMUNICATION
FACILITY, CONSISTING OF FUTURE
EQUIPMENT PLATFORMS, SHELTERS,
DIRECTIONAL AND GPS ANTENNAS

UTILITIES

BLUEBONNET ELECTRIC COOPERATIVE
PO BOX 729
155 ELECTRIC AVE.,
BASTROP, TX 78602
800-842-7708

PERMITTING

COUNTY: BASTROP COUNTY
JURISDICTION: CITY OF BASTROP
BUILDING CODE: 2018 IBC
EXISTING USE: OPEN SPACE
PROPOSED USE: TELECOMMUNICATIONS FACILITY

LEGAL DESCRIPTION

BUILDING BLOCK, BLOCK 40 E W ST, ACRES
1.617

ONE-CALL TEXAS

CONTRACTOR TO CALL BEFORE DIGGING
PHONE: 811 OR 1.800.545.6000

LANDOWNER

L & L RANCH LLC
1022 LOVERS LN,
BASTROP, TX 78602

ADDRESS

201 HILL ST,
BASTROP, TX 78602
(PENDING 911 ADDRESS)

NOTES:

1. NEAREST RESIDENTIAL LOT IS 569' TO THE EAST OF THE PROPOSED SITE.
2. FEMA FLOODPLAIN MAP SHOWS FEMA LIMITS OUTSIDE STUDIED ELEVATION OF 352'. THE PROPOSED SITE ELEVATION IS 355'.
3. LANDSCAPE CRITERIA PER CODE IS REQUESTED TO BE WAIVED. THE EXISTING TREE COVER TO REMAIN SERVES AS AN ADEQUATE BUFFER BETWEEN THE SITE AND RIGHT-OF-WAY.

SITE PLAN:

OWNER: L & L RANCH LLC
ADDRESS: 1022 LOVERS LN,
BASTROP, TX 78602

ZONING: PEC - EMPLOYMENT CENTER
LAND USE: VACANT
AGRICULTURAL LAND

OWNER: L & L RANCH LLC
ADDRESS: 1022 LOVERS LN,
BASTROP, TX 78602

ZONING: PEC -
EMPLOYMENT CENTER
LAND USE: VACANT
AGRICULTURAL LAND

OWNER: L & L RANCH LLC
ADDRESS: 1022 LOVERS LN,
BASTROP, TX 78602

ZONING: PEC -
EMPLOYMENT CENTER

LAND USE: VACANT
AGRICULTURAL LAND

OWNER: GARDNER, STEPHEN K
ADDRESS: 203 SUNNY OAKS DR,
BASTROP, TX 78602
ZONING: PEC -
EMPLOYMENT CENTER
LAND USE: VACANT
AGRICULTURAL LAND

LEGEND

- RIP RAP
- FLOODPLAIN
- LEASE AREA
- PROPERTY LINE
- CHAINLINK FENCE
- TREES TO BE REMOVED
- COMPACTED BASE MATERIAL
- CONCRETE APRON

BLOCK 41

OWNER: CDSC EQUITY LLC
ADDRESS: 167 TAHITI'AN DR,
BASTROP, TX 78602

ZONING: PEC -
EMPLOYMENT CENTER
LAND USE: VACANT
AGRICULTURAL LAND

NOTE:

PER ORDINANCE NO. 2025-11, PROTECTED TREES ARE 10" OR GREATER. ANY
TREE LESS THAN 10" IS NOT A PROTECTED TREE. IN THE TABLE BELOW,
PROTECTED TREES WILL BE **BOLDED**.

EXISTING TREE TABLE					
T1	12" CEDAR ELM	TO REMAIN	T32	4" TREE	TO REMAIN
T2	4" TREE	TO REMAIN	T33	20" CEDAR ELM	TO REMAIN
T3	4" TREE	TO REMAIN	T34	3" TREE	TO REMAIN
T4	12" CEDAR ELM	TO REMAIN	T35	3" TREE	TO REMAIN
T5	8" TREE	TO REMAIN	T36	3" TREE	TO REMAIN
T6	4" TREE	TO BE REMOVED	T37	3" TREE	TO REMAIN
T7	3" TREE	TO REMAIN	T38	3" TREE	TO BE REMOVED
T8	3" TREE	TO BE REMOVED	T39	3" TREE	TO BE REMOVED
T9	3" TREE	TO BE REMOVED	T40	3" TREE	TO BE REMOVED
T10	4" TREE	TO REMAIN	T41	3" TREE	TO BE REMOVED
T11	14" CEDAR ELM	TO BE REMOVED	T42	3" TREE	TO BE REMOVED
T12	12" CEDAR ELM	TO REMAIN	T43	3" TREE	TO BE REMOVED
T13	10" CEDAR ELM	TO BE REMOVED	T44	4" TREE	TO BE REMOVED
T14	3" TREE	TO BE REMOVED	T45	6" TREE	TO BE REMOVED
T15	3" TREE	TO BE REMOVED	T46	12" CEDAR ELM	TO BE REMOVED
T16	14" CEDAR ELM	TO REMAIN	T47	4" TREE	TO BE REMOVED
T17	4" TREE	TO REMAIN	T48	4" TREE	TO BE REMOVED
T18	4" TREE	TO REMAIN	T49	4" TREE	TO BE REMOVED
T19	12" OSAGE ORANGE	TO REMAIN	T50	4" TREE	TO BE REMOVED
T20	12" OSAGE ORANGE	TO REMAIN	T51	3" TREE	TO BE REMOVED
T21	4" TREE	TO REMAIN	T52	8" TREE	TO REMAIN
T22	6" TREE	TO REMAIN	T53	3" TREE	TO REMAIN
T23	6" TREE	TO REMAIN	T54	12" CEDAR ELM	TO REMAIN
T24	4" TREE	TO REMAIN	T55	8" TREE	TO REMAIN
T25	3" TREE	TO REMAIN	T56	10" CEDAR ELM	TO REMAIN
T26	6" TREE	TO REMAIN	T57	4" TREE	TO REMAIN
T27	12" CEDAR ELM	TO REMAIN	T58	2" TREE	TO REMAIN
T28	3" TREE	TO REMAIN	T59	14" CEDAR ELM	TO REMAIN
T29	3" TREE	TO REMAIN	T60	8" TREE	TO REMAIN
T30	3" TREE	TO REMAIN	T61	12" CEDAR ELM	TO REMAIN
T31	3" TREE	TO REMAIN	T62	3" TREE	TO REMAIN
			T63	4" TREE	TO REMAIN

TOTAL INCHES OF PROTECTED TREES TO BE REMOVED = 36"

SITE NAME:

VB BASTROP MIDDLE SCHOOL

CASE NUMBER:

SUBMITTAL DATE:

SCALE: 1:60

verticalbridge

VINCENT GERARD & ASSOCIATES
LAND PLANNING & ZONING CONSULTANTS
1715 CAYMAN, AUSTIN, TEXAS 78766
(512) 328-2693 • FAX: (512) 328-4011 • vgerard@vlink.net

SITE INFORMATION
201 HILL ST,
BASTROP, TX 78602
(PENDING 911 ADDRESS)

PROPERTY OWNER
L & L RANCH LLC
1022 LOVERS LN,
BASTROP, TX 78602

TOWER OWNER
VERTICAL BRIDGE
750 PARK OF COMMERCE
DRIVE,
BOCA RATON, FL 33487

ZD-1

	RIP RAP
	FLOODPLAIN
	LEASE AREA
	PROPERTY LINE
	CHAINLINK FENCE
	TREES TO BE REMOVED
	COMPACTED BASE MATERIAL
	CONCRETE APRON

LEGEND

- RIP RAP
- FLOODPLAIN
- LEASE AREA
- PROPERTY LINE
- CHAINLINK FENCE
- TREES TO BE REMOVED
- COMPACTED BASE MATERIAL
- CONCRETE APRON

DETAILED SITE PLAN:

The site plan shows a rectangular area labeled "BLOCK 40" containing numerous trees (T1 through T63). A large area is outlined in blue and labeled "PROPOSED 2,500 SQ.FT. LEASE AREA". Within this area, there are several smaller structures and features:

- "PROPOSED AT&T EQUIPMENT"
- "PROPOSED 6' CHAINLINK FENCE"
- "PROPOSED 118' MONOPOLE"
- "PROPOSED RIP RAP +315 SQ.FT."
- "ACCESS & UTILITY EASEMENT"
- "MULTI-TENANT UTILITY RACK"
- "PROPOSED 12' COMPACTED BASE DRIVEWAY"
- "EXISTING CHAINLINK FENCE"
- "PROPOSED 2 - 6' CHAINLINK GATES"
- "RIGHT OF WAY"
- "FEMA FLOODPLAIN ZONE AE"

Other features include:

- "PROPOSED FUTURE CARRIER PADS"
- "DRAINAGE EASEMENT"
- "PROPOSED 18' RCP CULVERT"
- "PROPOSED CONCRETE DRIVEWAY APRON"
- "LOVER'S LANE (100' PUBLIC RIGHT-OF-WAY) (PER VOLUME 464 PAGES 346-357)"
- "TO TOP OF BANK" labels at various points along the perimeter.

**OWNER: L & L RANCH LLC
ADDRESS: 1022 LOVERS LN,
BASTROP, TX 78602**

**ZONING: PEC –
EMPLOYMENT CENTER
LAND USE: VACANT
AGRICULTURAL LAND**

SCALE: 1:20

2' LIGHTNING ROD

TOP OF TOWER
ELEV. = 118'

PROPOSED AT&T
ANTENNAS

FUTURE CARRIER

PROPOSED 118'
MONOPOLE

PROPOSED EQUIPMENT ON
PLATFORM

PROPOSED 6'
CHAIN-LINK FENCE

VB BASTROP MIDDLE SCHOOL

SUBMITTAL DATE:

The logo for Vertical Bridge, featuring the words "vertical" and "bridge" in a sans-serif font, with a green arc connecting the two words.

VINCENT GERARD & ASSOCIATES
LAND PLANNING & ZONING CONSULTANTS
1715 CAPITAL OF TEXAS HWY SOUTH, STE. 207
AUSTIN, TEXAS 78746
(512) 338-2690 • FAX: (512) 338-4011 • vgerard@dash.net

SITE INFORMATION

201 HILL ST,
BASTROP, TX 78602
(PENDING 911 ADDRESS)

PROPERTY OWNER

L & L RANCH LLC
1022 LOVERS LN,
BASTROP, TX 78602

TOWER OWNER

VERTICAL BRIDGE
50 PARK OF COMMERCE
DRIVE,
BOCA RATON, FL 33487

ZD-2