

City of Bastrop

Agenda Information Sheet:



Planning and Zoning Commission Meeting Date:
APD 11-01

November 3, 2011
Agenda Item #4

Consideration, discussion and possible action on a request for amendments to the Hunter's Crossing Master Plan and Hunter's Crossing PD (Planned Development District) Zoning Classification.

Item Summary:

The main revision items were discussed during the workshop session at the September 29, 2011 Planning and Zoning Commission Meeting.

Forestar Group, would like to propose some modifications/changes to the existing Hunter's Crossing Master Plan and Hunter's Crossing PD (Planned Development) zoning district. These modifications include clarification/resolving some of the existing conflicts within the approved Master Plan and PD and also proposed additional residential uses.

Current PD documents include:

2003-19 Hunter Crossing PD & Master Plan– July 2, 2003
2003-36 1st Amendment – November 11, 2003
2004-08 2nd Amendment – April 27, 2001
2004-16 3rd Amendment – June 22, 2004
2004-42 4th Amendment – December 14, 2004
2005-19 5th Amendment – April 26, 2005
2005-47 6th Amendment – December 13, 2005

Background:

Representatives from Forestar Group, developers of Hunter's Crossing, would like to receive recommendation for approval of the proposed modifications to both the Hunter's Crossing Master Plan and the changes to the Hunter's Crossing Planned Development (PD).

The main changes include:

1. PDD Addition
 - a. Add a 10.37 acre tract to be included in the PD (originally left out of portions of the Master Plan and PD zoning exhibits)
2. Bear Hunter Realignment
 - a. Align with TxDOT approved FM 969
3. Multi Family Zoning Change to Commercial
 - a. Entire Tract adjacent to Hwy 71 and Bear Hunter Drive slated to be Commercial and Multifamily to have a Commercial designation only. (commercial does allow multifamily)
4. Home Depot Way Extension
 - a. Extend Home Depot Way (add to thoroughfare network) to cross current commercial tracts for better circulation

5. Zoning Change to new category (Mixed Residential)
 - a. Allow tracts 9B, 9A, 5B, and 3E to have possible mixtures of residential development, such as: attached single family, duplexes, or single family but limit apartment developments to 9B and 9A only.
6. Change in Commercial Zoning along FM 304
 - a. Reduce commercial development along FM 304 from approximately 12 acres to 3 acres at the corner of Home Depot Drive and FM 304

This amendment will be the accumulation of all the previous documents. Many of the areas have not changed and are **grayed out**, if no changes are proposed. Areas that are not grayed out (left untouched) is language that is proposed or represents changes in the document.

Comments: 349 adjacent and property owners within Hunter's Crossing Subdivision were mailed property owner notifications on October 19, 2011. Two (2) in favor of the request, two (2) opposed and three (3) have been returned. Responses from notifications are included in your packet and additional notices will be provided at the meeting.

Staff Basis of Support:

Staff supports the proposed language modifications and changes to the Master Plan and Planned Development District. Staff hopes that the Planning and Zoning Commission will review current proposed modifications to the Hunter's Crossing Master Plan and PD and provide any additional recommendations/changes and forward to City Council.

City Contact:

Melissa M. McCollum, AICP, LEED AP - Director
Planning and Development

Attachments:

Notification of surround property owners, PowerPoint Presentation, and Hunters Crossing PDD language

Hunter's Crossing Planned Development District

Bastrop, Texas

ARTICLE I. - GENERAL PROVISIONS

100.1 Purpose and Intent

Forestar (USA) Real Estate Group, formerly Sabine Investments, has submitted an amended Master Plan (see amended Master Plan in Appendix and illustrations A-1 and A-2, also in Appendix) for the development of 254.191 acres known as Hunter's Crossing. This document shall describe the planned development zoning district (PD) for areas of Hunter's Crossing. As a requirement of the developers service agreement and the Planned Improvement District (PID) created by Council for Hunter's Crossing, Forestar (USA) Real Estate Group, formerly Sabine Properties, obligates itself to use this PD as a portion of its Conditions, Covenant and Restrictions (CCRs) and to request at the time of annexation any of the delineated property's zoning under this zoning district in-lieu-of an agricultural zoning classification that is generally assigned.

Hunter's Crossing Section IA, composed of 28.830 acres, was annexed and zoned C-1 November 13, 2001, and is not affected by this document.

The PD has five general zoning areas as shown on the Master Plan which are: (1) Residential (2) Public Park/Open Space (3) Commercial (4) Mixed Residential and (5) Special. Such designations shall be shown on the City of Bastrop's official zoning map and in the Hunter's Crossing PD as codified in Chapter 14, Section 32 of the City of Bastrop Code of Ordinances.

Hunter's Crossing is intended to be developed as a viable community rather than as discreet parcels of land. To achieve this end, the development standards define the relationship of commercial and residential development and set a framework for review, approval and ongoing code enforcement for subsequent development of the land.

Section 100.2 Definitions

All definitions applied in the City of Bastrop Code of Ordinances shall be deemed to be in effect if not specifically amended in the PD document.

- a. Annexation – Voluntary annexation into the City of Bastrop requested by Sabine Properties, and its heirs and assigns, for properties included under the Master Plan.
- b. Circulators - Streets, whether residential or commercial, public or private, that primarily provide vehicular access to individual lots within development areas. Circulators are designed with low travel speed and promote pedestrian travel.
- c. Code – Refers to the Development Code of the City of Bastrop, Texas

- d. Collectors - Streets of higher capacity not designated on the thoroughfare plan with the primary function of connecting development areas to thoroughfares and from which direct access is restricted to major development areas. Collectors shall have slower travel speeds than Thoroughfares.
- e. Conceptual Site Development Plan – A plan presented prior to or in conjunction with a subdivision plan that shows building size and location, driveway access points, required parking and setbacks.
- f. Developer’s Agreement - Service utility agreement between City and Sabine Investments.
- g. Ground Area Coverage - The total square footage of land covered by building footprints as a percentage of the whole lot.
- h. Hazardous Substances - asbestos, soil or groundwater contaminates, radioactivity, methane gas, radon gas, volatile hydrocarbons, materials or conditions as may be defined and/or regulated by any federal, state or local governmental body having applicable jurisdiction.
- i. Hx-C - The Commercial Development district as detailed in Section 305 in this PD Ordinance
Hx-P - The Public Park/Open Space district as detailed in the Appendix of this PD Ordinance
Hx-MR – The Mixed Residential district as detailed in Section 301 of this PD Ordinance
Hx-R - The Residential Planned Development district as detailed in Section 300 of this PD Ordinance.
Hx-SD – The Special district as detailed in Section 306 of this PD Ordinance.
- j. Large Shade Tree – An evergreen or deciduous upright growing tree that will reach a minimum height of 25’ at maturity. The Large Shade tree must have a minimum of 2” caliper at time of planting.
- k. Masonry - Clay brick, natural stone, and limited quantities of stucco shall be considered masonry for purposes of this document.
- l. Master Plan – Master Plan for Hunter’s Crossing Development submitted to the Bastrop City Council as basis for subsequent actions and agreements, and as amended from time to time, with City approval.
- m. Multiple Tenant Off Premise Sign - A sign that has more than one business identified, and is interchangeable as businesses come and go over time. The sign is not required to be located on the same lot as the buildings they identify. This sign varies from a billboard sign in that the multiple tenant sign only states the name or names of businesses as an identifier, and is not an advertisement.
- n. Parking - All parking areas, access isles and driveways shall be paved with asphalt surfacing and concrete curbing, or with concrete surfacing and concrete curbs. The use of treated wood timbers, railroad ties, and concrete wheel stops are not permissible as a replacement for a continuous concrete curb. End islands within parking lots must have a raised 6” curb to protect landscaping and irrigation heads from vehicular traffic. Paved areas must be installed to ASTM standards to insure proper wear and longevity from environmental factors.
- o. PD – Planned Development district zoning as specified in Chapter 14 of the Bastrop City Code.
- p. PID – Planned Improvement District created as a financing and maintenance mechanism for Hunter’s Crossing by the Bastrop City Council.
- q. Sign face - A portion of the total “*sign area*” as defined in Article 13 “Regulations of Signs” of the City of Bastrop Code or Ordinances.

- r. Street Yard – The area (private property) between the right of way line and the front façade of the building. Generally the front yard in a single family development and the front and exterior side yard for commercial developments.
- s. Subdivision Sign - A sign that identifies sub-sections of the total Hunter's Crossing Residential Development.
- t. Thoroughfares - Roads streets or highways designated in the City of Bastrop thoroughfare plan or extensions of the same to enhance regional and area wide mobility. Thoroughfares are designed for higher traffic capacity, more rapid and distant travel and from which direct access is restricted to major development areas.

Section 100.3 Relationship to other documents and authorities

- a. All subdivision, building, and other regulations in the Code remain in full effect.
- b. The PD affects only Codes found in Chapter 14 of the Bastrop Code of Ordinances. Only specific changes set out in this document are affected. All other portions of the zoning code remain in effect. All amendments made to the PD shall follow standard re-zoning procedures. All variances to the PD shall be granted via the Board of Adjustment.
- c. All plans for building or development shall be reviewed by the City Planning Department for review and approval.
- d. Regional drainage features have been designed and constructed to specifications required to attain conformance with the Hunter's Crossing Hydrologic and Hydraulic Analysis (dated January 21, 2002). Any subsequent change of local, state, or federal requirements may require drainage improvements beyond those currently planned. Development beyond the impervious cover assumptions used in the analysis shall trigger on site detention on affected property.
- e. Development beyond the traffic analysis assumptions used by John F. Hickman and Associates in the study dated May 21, 2001 may trigger cost participation by subsequent projects in street or other transportation improvements.
- f. Public Park/Open Space dedications are detailed in the Public Park/Open Space Plan in the Appendix of this PD Ordinance to be submitted and approved. This shall allow projects within the PD to utilize a common dedication in lieu of individual parkland dedication or fees.

Section 100.4 Development Process

- a. All proposed commercial and multifamily projects within the PD, whether annexed or not, shall submit conceptual site development plans simultaneous with platting and annexation applications if needed. Significant changes between conceptual site development plans and final site development plans submitted to meet city code may delay processing of plans.

- b. If no exceptions to subdivision are required and the plans are fully compliant with this document, staff will move for concurrent action and/or administrative approval of the project.
- c. Site Development Plans shall be submitted to the City of Bastrop Planning Department for review and approval. (See Bastrop City Code for plan requirements)
- d. Other projects within the Hunter's Crossing Master Plan but not within the PD shall follow the normal and complete development process. No provisions of the PD, process or standard, shall be grounds for variance or applied to such project without amendment of the PD.
- e. Variance procedure. Variances shall be handled as per Chapter 14, Section 10.

ARTICLE II - COMMUNITY DESIGN

Section 200.1 Development districts within Hx-PD

The Hx-R, Hx-C, Hx-P, Hx-MR and Hx-SD districts shall encompass the areas set forth in the Master Plan.

Hx-R - All land to be developed under the rules set forth for residential development in the PD document.

Hx-C - All land to be developed under the rules set forth for commercial development in the PD document.

Hx-P - All land that is public park and open space under the rules set forth in the Public Park/Open Space Plan in the Appendix of the PD document.

Hx-MR - All land to be developed under the rules set forth for mixed residential development in the PD document.

Hx-SD – The land to be used/developed as a City fire station or child care center.

Section 200.2 Streets

A hierarchy of streets is put forward as follows:

Thoroughfares – Roads, streets or highways designated in the City of Bastrop thoroughfare plan or extensions of the same to enhance regional and area wide mobility. Thoroughfares are designed for higher traffic capacity and more rapid and distant travel. For Hunters Crossing, S.H. 71, FM 304 and Bear Hunter Drive are considered thoroughfares. Direct access is limited to major development areas.

Collectors - Streets of higher capacity not designated on the thoroughfare plan with the primary function of connecting development areas to thoroughfares and from which direct access is limited to major development areas. Collectors shall have slower travel speeds. Hunter's Crossing Blvd., Home Depot Way, and Hunter's Point are considered collectors.

Circulators - Streets, local residential or commercial, public or private, that primarily provide access to individual lots within development areas. Circulators are designed with low travel speed to promote pedestrian travel.

See Illustration A-3

All streets not shown in illustration as either Thoroughfare or Collector are Circulator Streets.

Section 200.3 Drainage

The “development drainage system” denotes areas consisting of a detention facility and channel system designed to manage the affects of storm water run-off within the project and on properties downstream.

Hunter's Crossing has provided regional storm water detention for the entire development, and is located in a central area. Individual sites will not need to provide any additional storm water capture, unless local, State or the Federal Government institute new laws requiring a higher level of detention or conveyance at a future date. Subsequent changes in regulatory conditions, for onsite drainage features may be required that may include individual on-site detention.

Section 200.4 Public Park/Open Space Plan

A Public Park/Open Space Plan is provided in the Appendix of this document to give reference for park land dedication requirements.

All parcels within the PD shall conform to the features laid out in this Plan and its design standards. Features within the Plan may be used to substantiate exceptions to the subdivision code such as maximum block length (if bisected by a trail).

The Public Park/Open Space Plan shall serve to encourage travel by foot, bicycle or transit. It shall provide a distinct and positive identity for the community and assure connectivity and interrelationship between uses and residents within the PD and surrounding areas.

Article III - DISTRICT STANDARDS

Section 300 - Hx-R and Hx-MR districts

The Hx-R zoning district utilizes the SF-7 base zoning district.

Section 300.1 - Land Uses

Section 300.2 – Use by Right

The following uses are allowed by right within the Hx-R and Hx-MR districts.

- a. Single Family Dwelling Detached
- b. Accessory Building (Residential) less than 240 square feet
- c. Swimming Pool (Private)
- d. Fire, Police, Public Health, Municipal Bldgs. and Facilities
- e. Caretaker or guard's residence
- f. Park/Playground (Private) Non Commercial
- g. Sewage Pumping Station (Public)
- h. Telephone Exchange/Switching/Relay
- i. Water Reservoir Well/Pumping Station

Section 300.3 Uses by Conditional Permit

The remaining uses are allowed by City code in the SF-7 district but are held as conditional uses within the Hx-R and Hx-MR. Conditional uses shall comply with Section 33 of Chapter 14.

- a. Community Home (per State Statute)
- b. Off Street Parking Incidental to Main Use
- c. Tennis Court (Private)(No Lights)
- d. Antenna (Non Commercial)
- e. Garden or Orchard (Non Commercial)
- f. Local Utility Line
- g. Water Stand-Pipe/Elevated Water Storage
- h. Water Treatment Plant
- i. Family Home (Child Care)
- j. Bed and Breakfast Inn or Facility
- k. Garage/Accessory Dwelling (See Chapter 14, Sec 40 of City of Bastrop Code of Ordinances)
- l. Home Occupation
- m. Swimming Instruction as Home Occupation
- n. Electrical Substation (High Volt. Bulk Power)
- o. Electrical Transmission Line (High Voltage)
- p. Franchised Private Utility (not listed)

Section 300.4 Residential Streets

Section 300.4.1 Residential Streets – Thoroughfares

- (a) Access - No direct access to individual residential lots or minor commercial uses will be allowed from a thoroughfare. Lots platted along thoroughfares shall utilize access off of circulator streets or by joint access drives.
- (b) Pedestrian – 5 foot sidewalk meandering no closer than 5 feet from curb. (See illustration 300.4.1b below)

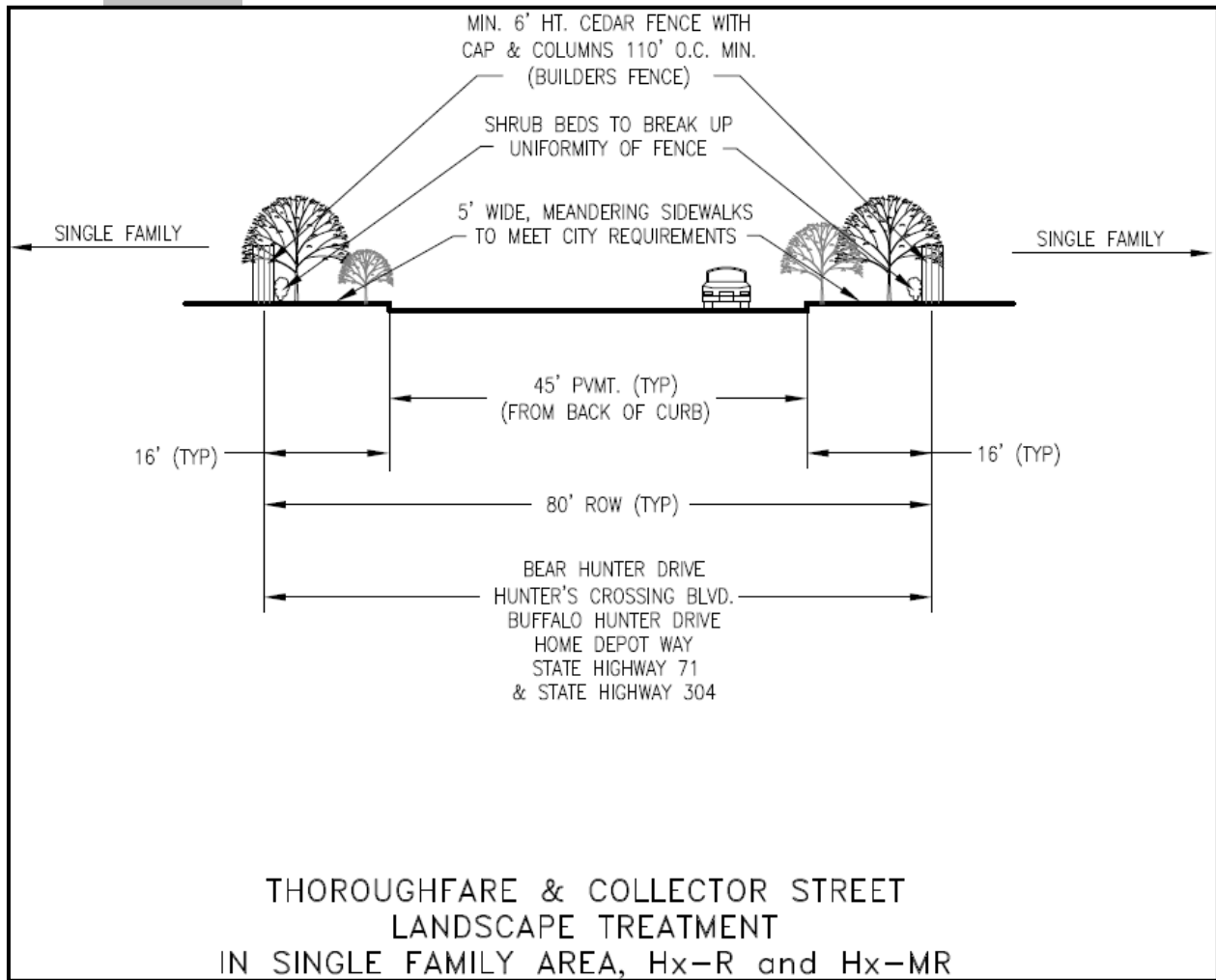


Illustration 300.4.1b

- (c) Parking – No on-street parking.
- (d) Landscape - Street trees (a large shade tree) shall be planted every 110 feet on either side of the meandering sidewalk and on both sides of the

street. Three ornamental trees shall be planted for each 110 linear feet on each side of street.

- (e) Fencing - A six foot fence with stone columns every 110' (maximum spacing) shall be erected along the property line of lots backing to thoroughfares (See illustration 300.5e below). With regard to this requirement for fencing along Bear Hunters Drive, the fence required herein shall be constructed at the time roadway improvements are made to that roadway.

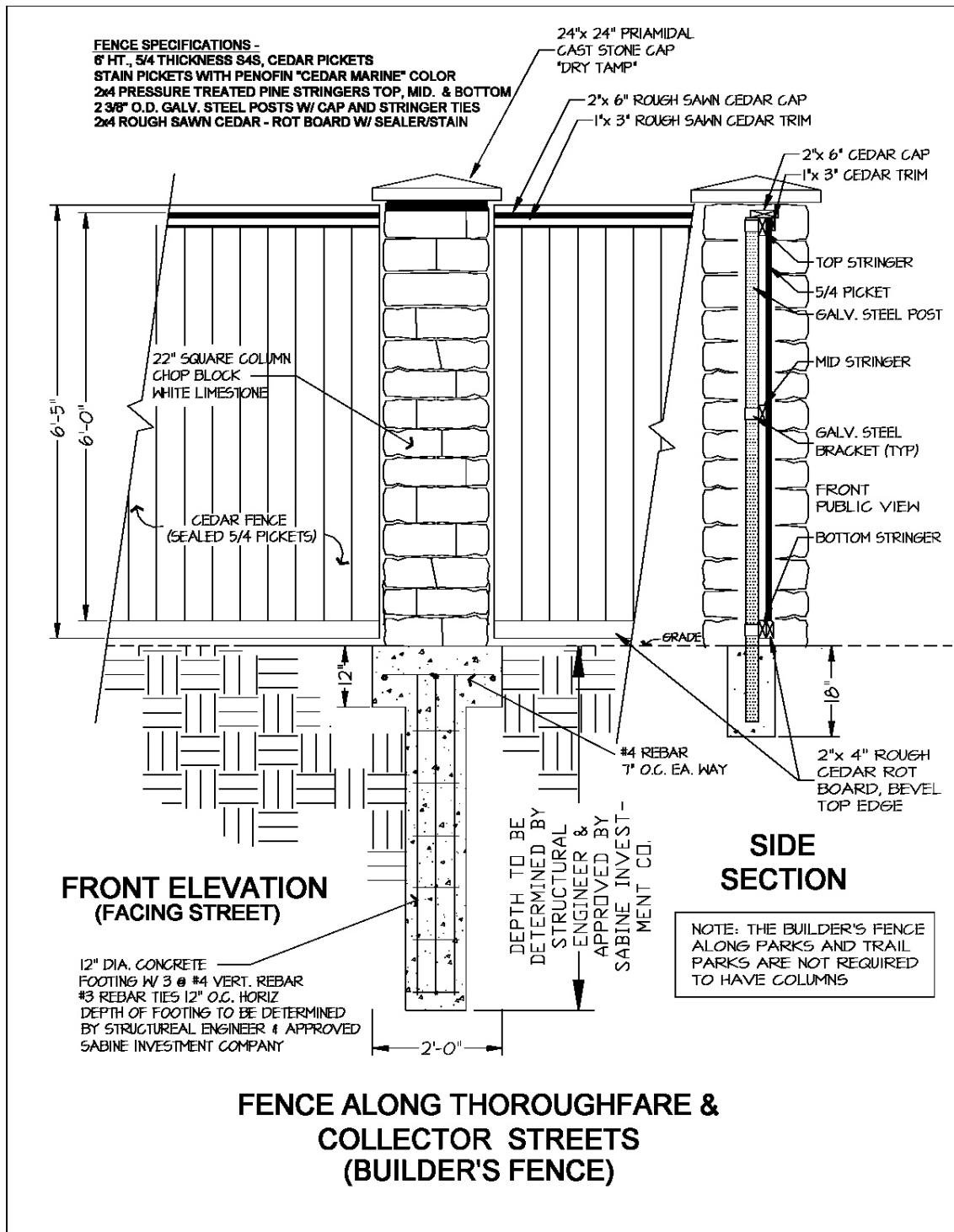


Illustration 300.5e

- f) Miscellaneous structures – No mailboxes or other community features shall be located without a vehicle pullout. No such pullout shall be located 200 feet from an intersection or drive.

(g) Temporary, development or builder's signs:

- A single large subdivision sign (less than 6 feet high and 60 square feet) may be built at the intersections of Hunter's Point Drive with State Highway 304 and Bear Hunter Drive. A smaller subdivision sign (less than 4 feet high and 30 square feet) may be built as a part of the fencing at each entrance to a residential neighborhood.

- A single sign (less than 25 feet tall and 100 square feet) bearing the name of all builders in the Hx-R district may be erected at the intersection of Hunter's Point Drive with State Highway 304. This sign shall be removed thirty days following the final sale of all units offered by each builder.

-No garage sale or realtor sales signs shall be permitted along thoroughfares.

(h) Neighborhood identity signs - A single large subdivision sign (less than 6 feet high and 60 square feet) may be built at the intersections of Hunter's Point Drive with State Highway 304 and Bear Hunter Drive.

(i) Lighting - Street light standards required by Bluebonnet Electric Cooperative, Inc.

Section 300.4.2 Residential Streets - Collectors

(a) Access - No direct access to individual residential lots is allowed. Residential lots platted along collectors shall utilize access off of circulator streets.

(b) Pedestrian - 5 foot sidewalk meandering no closer than 5 feet from curb. (See illustration 300.4.1b above)

(c) Parking - No on street parking.

(d) Landscape - Street trees (a large shade tree) shall be planted 110 feet either side of the meandering sidewalk and on both sides of the street. Three ornamental trees shall be planted for each 110 linear feet on each side of the street.

(e) Fencing - a six foot fence with stone columns every 110' shall be erected along the property line of lots along collectors. (See illustration 300.5e above)

(f) Miscellaneous structures - No mailboxes or other community features shall be located without a vehicle pullout. No such pull out shall be located 100 feet from an intersection or drive.

(g) Temporary development or builders signs - A single large subdivision sign may be built at the Intersection of Hunter's Crossing and Hunter's Point Drive. A smaller subdivision sign may be built as a part of the fencing at each entrance. Each builder may have one temporary sign

(less than 15 feet in height and 100 square feet) at the entrance to a neighborhood that they are building and a second such sign at their sales office or model home. Such signs shall be removed thirty days following the final sale of all units. No garage sale or realtor sales signs shall be permitted along thoroughfares.

- (h) Neighborhood identity signs - A single large subdivision sign (less than 6 feet high and 60 square feet) may also be built along Hunter's Crossing Blvd near the Park as an entrance identifier to the single family area.
- (i) Lighting - Street light standards required by Bluebonnet Electric Cooperative, Inc.

Section 300.4.3 Residential Streets – Circulators

- (a) Access - side access drives are permitted. Side access driveways shall be a minimum of 60' from the intersection. In general, driveways for corner lots, other than side access driveways, shall be located the maximum possible distance from street intersections. In general, driveways shall be located to maximize the space between driveways on the same side of the street, but no less than 13' apart. In order to maintain maximum distance of driveways from street intersections, where necessary within cul-de-sacs or at the approximate mid-block locations between street intersections, driveways may be located less than 13' apart, but not less than 3' apart, measured at the property line. Minor variations to solve conflicts with storm sewer inlets, fire hydrants and similar appurtenances are acceptable.
- (b) Pedestrian - A four foot (4') sidewalk shall be provided behind curb on both sides of the street.
- (c) Parking - On street parallel parking is allowed over 20 feet from an intersection. No parking on sidewalks.
- (d) Landscape – One street tree (Large Shade tree) shall be planted per lot no more than 10 feet from the sidewalk. No shrubs over 3 feet shall be planted at drives or corners.
- (e) Fencing – For corner lots, no fencing is allowed between curb and property line along the public ROW line outside of the exterior side yard building setback.
- (g) Miscellaneous structures – No structures allowed outside of building setbacks.
- (h) Signs – One sale or rental sign per lot to be removed within 2 days of sale.
- (i) Lighting - Street light standards required by Bluebonnet Electric Cooperative, Inc.

Section 300.5 Residential Neighborhoods

Section 300.5.1 Lot Types

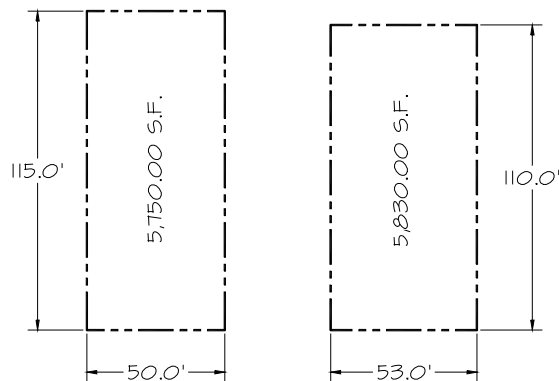
- (a) SF-7 lots - lots of width sixty feet (60') or greater shall follow the standards found in Chapter 14, Section 17.4 of the City of Bastrop Code of Ordinance with the exception of front, interior, exterior side setbacks, minimum dwelling unit area, and parking requirements which will follow the amended SF-7 standard contained herein. Limitations exist for side yard setback on sixty foot (60') and larger lots. See (d) below for details.
- (b) SF-7 (amended) lots – lots of width from fifty feet (50') up to sixty feet (60'), as allowed by this specific PD zoning district.

Section 300.5.2 Lot Standards

The following standards (a thru d below) apply to lots, within parameters specified by Council, with frontage less than 60 feet.

- (a) The maximum number of lots within all areas built according to SF-7 or SF-7 Amended and having a lot width of less than 60' (excluding lots in a circle of a cul-de-sac) shall not exceed 35% of the total lots within the HX-PD.
- (b) Maximum Lot Coverage: 65% by main buildings and accessory buildings, including swimming pool. In no case can the impervious cover of lots within a drainage area exceed the assumptions presented in the approved drainage study and construction plans for the subdivision in which the lot is located.
- (c) Size of Lots:
 - Minimum Lot Area - 5,750 square feet
 - Minimum Lot Width - 50'
 - Minimum Lot Depth - 115' if width 50-53'
 - Minimum Lot Depth - 110' if width >53'

(See diagram below, showing examples of width/depth requirements.)



Corner lots: If 66% or more lots within a platted section are 60' in width or greater, then the corner lot shall be a minimum of 70'. If a platted section contains less than 66% of lots that are 60' width or greater, then the corner lots shall be a minimum of 60' in width.

d) Size of Yards:

- Minimum Front Yard setback - 20'-30' *, ***
- Minimum Interior Side Yard setback - 5' - 10' **, ***
- Minimum Exterior Side Yard setback - 15' (20' min. with side driveway entry)
- Minimum Rear Yard setback – 15'

Side yard setbacks of five feet (5') are allowed on lots that are sixty feet (60') wide or wider, but only if such reduced side yard setbacks are necessary in order to accommodate a wider house plan on a specific lot. For example: If a plan proposes a fifty feet (50') wide house, five foot (5') side yard setbacks are permissible on a sixty foot (60') wide lot, so long as the house will not be constructed adjacent to another structure with less than ten foot (10') side yard setbacks on either side. By way of further example: If the proposed house is forty feet (40') wide and will be placed on a sixty foot (60') wide lot, a minimum of ten foot (10') side yard setbacks shall be required on each side of the house. In no event may a house plan that requires a five foot (5') side yard setback on a sixty foot (60') or wider lot be constructed adjacent to a house that is also to be constructed on a lot with a side yard setback of less than ten feet (10') on any common adjacent side. Further, there shall be a minimum of two (2) forty foot (40'), or less, wide houses situated in between any two (2) proposed fifty foot (50') wide houses.

* The front facade of each house shall be staggered at least five feet from the adjacent house, except that periodically two houses side by side may have the same building setback. Not more than 10% of the

houses in a platted section may have the same front setback as the adjacent structure. Not more than two houses in a row may have the same set back. The occurrence of two houses with the same setback should be randomly spaced within a section of homes.

** The eaves of each house in the side yard shall not be closer than seven feet (7') as measured from fascia to fascia. This allows for an 18" eave overhang.

*** Lots with an interior side yard that abuts the rear property line of a corner lot must have a minimum of a seven foot (7') side yard setback on the abutting side. Furthermore, such lots shall have a maximum front yard setback of twenty feet (20').

(e) Landscape – Front and side yards shall be sodded and an automatic irrigation system provided to the fence. The irrigation system shall also cover portions of the right of way up to the sidewalk. In addition to the required street tree (300.4.3d) a second tree either ornamental or shade, and a minimum of 2" caliper shall be planted in the street yard.

(f) Fencing

1. Fences along a side yard abutting a trail shall comply with the interior side yard building setback.
2. Fences along an exterior side yard shall comply with the exterior side yard building setback, except along the right-of-way line on corner lots located on a collector street. For corner lots along a collector street, the fence may be located on the property line. However, in no instance shall any fence be located in a manner that creates an impediment to line of sight for vehicular traffic in accordance with Section 39.8B, City of Bastrop Zoning Ordinance. No fence shall be over six feet high.
3. Any fence or wall located on a property line shall not exceed six feet (6') in height except for decorative columns and capitals, which may not exceed 8 feet in height.
4. No fence or wall shall be permitted in front of the rear point of any principle structure. No fence shall be erected in any front yard or exterior side yard.
5. No barbed wire, chain link or electrical fencing shall be allowed.
6. Gates are allowed for access onto trails or sidewalks if a finished pathway is provided to connect to such. No such path shall interfere with landscape beds or other civic amenities along the trail.
7. Fences around swimming pools shall comply with the City of Bastrop's adopted building code.

(g) Miscellaneous structures – Accessory buildings must:

1. Be constructed or located to the rear of the main dwelling, separate from the main dwelling.
2. Be constructed or moved on only with the issuance of appropriate permits.
3. Be constructed out of the same material as the main structure.
4. Not be sold separately from sale of the entire property, including the main dwelling unit, and shall not be sublet.
5. Follow the same setback requirements as for the main structure.
6. Not be constructed or moved onto a site without the main or primary structure.
7. Accessory dwellings and units constructed over a garage are not allowed.

(h) Side yards

1. Every part of a required side yard shall be open and unobstructed except for the ordinary projections of windowsills, belt courses, cornices, and other architectural features. Projections are not to exceed twelve inches (12") into the side yard except for mechanical equipment such as air conditioning compressors.
2. Roof eaves shall not project into the required interior side yard more than 18" . Roof eaves may extend beyond 18" if the side yard setback is increased equally to the extra extension of the eaves, to maintain 7' minimum between eaves as measured from fascia to fascia.
3. Air conditioning compressors and similar equipment are permitted in the side yard, provided said units may be screened by landscaping, but shall not be screened by fencing. Air conditioning units shall be offset and shall not be placed in locations in side yards that could impede fire rescue operations from second story windows in adjacent structures (e.g., across from second story windows in adjacent houses).

(i) Signs

1. No business signs are allowed.
2. Only yard signs less than 3 feet tall are allowed for the following:
 - a. political signs,
 - b. a single garage sale sign, and

- c. sales or rental sign for the property (not cars etc.).
- d. such signs must comply with City of Bastrop regulations.

(j) Lighting

1. No free standing yard light shall be over 6 feet high.
2. Residential lighting for security purposes is permitted in all residential districts provided the following requirements are met:
 - a. No building mounted light shall be above the average eave height.
 - b. No light shall cast over 0.25 lumens of light beyond the property line.

(k) Parking

1. A minimum 2-car garage and 2-car driveway must be built and retained over the life of the structure. No additional carports or pads shall be allowed.
2. No parking shall be allowed except on the paved parking space. Under no circumstance shall vehicles block trails, sidewalks or other pedestrian ways.
3. Each standard off-street surface parking space size shall be in accordance with the International Building Code. (Currently 9' x 20')
4. All driveways and approaches to required parking spaces shall be similarly paved.
5. No parking space, garage or other automobile storage space, on or off street, shall be used for the storage of any heavy load vehicle. (see city code for definitions).
6. Building plans shall provide for entrance/exit drive(s) designed and located to minimize traffic congestion or conflict.
7. No parking shall be permitted on grass, landscaped or other impervious surface other than designated on street areas abutting a curb, approved parking lots, and residential driveways.
8. No boats or marine craft, aircraft, recreational vehicles, trailers, campers, or similar vehicles and equipment are to be parked or stored on paved or unpaved surfaces in the front or on the side of any dwelling, including public streets. No vehicle of any size is allowed on the property at any time that contains hazardous materials.

(l) Storage and loading

1. Open storage of materials other than those for, short term, personal use or consumption i.e. firewood, gardening materials, etc, are prohibited.
2. All open storage must be located behind the primary structure and screened from public view.
3. No motorized vehicle other than autos, personal trucks, and motorcycles are to be stored on the premises. No heavy load vehicles, boats or marine craft, aircraft, recreational vehicles, trailers, campers, or similar vehicles and equipment are to be parked or stored on paved or unpaved surfaces in the front or on the side of any dwelling, including public streets. No vehicle of any size is allowed on the property at any time that contains hazardous materials.
4. During construction, construction materials shall be unloaded and stored in marshalling areas, designated on plans, adequate for entry, maneuvering and backing such that all materials are stored within the requirements for setbacks and visibility stated for buildings and other structures in this code.
5. All materials storage during construction shall be done without blocking streets.

Section 300.5.3 Building Standards

- (a) Minimum Dwelling Unit Area - 1,200 square feet
- (b) Maximum Height:
 - Two and one-half (2½) stories for the main building.
 - Overall height must be less than thirty-five feet (35').
 - One (1) story for accessory buildings without garages.
 - Other (see Section 43)
- (c) Minimum roof slopes of 5:12 pitch.
- (d) Materials: For the purpose of this section the following definitions shall apply:
 - Masonry construction shall include all construction of stone, cultured stone, clay brick, and limited Plaster Finishes: Plaster (stucco) shall have a minimum overall thickness of one-half (1/2") inch.
 - Concrete fiberboard shall mean "Hardiplank" or like material, primed and painted.
 - Glass other than mirrored, reflective or extremely dark.
 - Garage doors shall mean raised panel doors.
 - Windows shall mean divided light windows with baked on painted aluminum. No mill finished aluminum is allowed.
 - Burglar bars are not allowed.

- Ancillary projections shall include gutter vents and utility boxes
Mechanical equipment shall include air conditioning, heating pool filters, communications devices and other similar appurtenances to internal systems.
 - All other definitions shall be the same as Code.
- (e) All first floor facades facing a public street and the first floor of interior and exterior side facades shall be 100% masonry construction except for gables, soffits, windows, doors, and trims. Stucco may be used only on 50% or less of any façade are required to be masonry.
- (f) All eaves, soffits, and other non-masonry veneers shall be of concrete fiberboard, primed and painted.
- (g) Ancillary projections must match the color of the veneer that they are mounted on and if vertical be located on the rear facade.
- (h) If interior side yard setbacks are less than ten feet (10'), side yard swales shall be installed on common side yard lot lines, or absent a swale, in the instance of hip roofs, where there is a single slope, the high side roof shall be guttered to direct roof top water away from the adjoining property.
- (i) Mechanical equipment may not be located on the roof, in a wall or window mounted.
- (j) To prevent the spread of fire, two story structures, or structures having gable ends on side yard walls, may be placed on adjoining lots provided that: (a) in the instance of one-story units, if one has a gable end roof, the adjoining one must have a hip roof; in the instance of two-story units (both two-story at the side building line) on adjoining lots, window and end wall gable vents above the first floor shall be offset not less than thirteen feet (13') as measured on the diagonal from the nearest point of each window or gable end vent to the one on the adjoining structure.

Section 301 – Hx-MR District

The Hx-MR District (i.e., Sections 3E, 5B, 9A and 9B) can be developed using any one or two of the five (5) following districts, in any single section, in compliance with the City of Bastrop Code of Ordinances:

[By way of Example only, Section 3E could be developed using products that complied with a combination of SF-7 and SFA; but could not use SF-7, 2F and MF-1 in the same section.]

- 1) SF-7 (Chapter 14, Section 17) and SF-7 as amended by this PD (section 300.5.2)
- 2) 2F (Chapter 14, Section 18)
- 3) SFA (Chapter 14, Section 19)
- 4) MF-1 (Chapter 14, Section 20)
- 5) MF-2 (Chapter 14, Section 21)

Following the landowner's selection of the applicable tract and one or two district(s) to be developed in that tract, the landowner shall submit all necessary development materials, applications, diagrams and/or plans for review and approval by the City of Bastrop to ensure that development occurs in compliance with the City of Bastrop Code of Ordinances.

All development within the Hx-MR district that is not MF-2 shall be subject to the Hunter's Crossing Conditions, Covenants and Restrictions (CCRs) that apply to the particular tract that is being developed, as well as the lot standards and building standards of this PD (sections 300.5.2 and 300.5.3).

Exceptions - Areas identified as sections 3E and 5B on the Master Plan (Appendix Illustration A-2) cannot utilize the MF-2 District.

Fencing - In the event that multi-family, non-residential uses, or manufactured/mobile home parks side or back upon a single-family, two-family or residential PD District, or in the event that any non-residential district sides or backs to a multiple-family District, an opaque fence or solid brick/masonry screening wall of not less than eight feet (8') in height shall be erected on the property line separating these districts. The purpose of the screening wall or fence is to provide a visual and protective barrier between the properties. It shall be the responsibility of the nonresidential use to construct and maintain the screening fence.

[Sections 302, 303, and 304 reserved for future use.]

Section 305 - Hx-C

The Hx-C Zoning District utilizes the City's Zoning Code C-1 zoning district and regulates all Commercial uses within the Hx-PD.

Section 305.1 - Uses

For the proposed commercial use or its accessory uses located on tract 10-A, the right of use shall commence only after Developers completion of construction of an eight foot (8') developer fence, located along the district boundary, to the extent such boundary is adjacent to that use. See illustration 305.1. Maintenance of such fence(s) shall be the responsibility of the Commercial Property Owner.

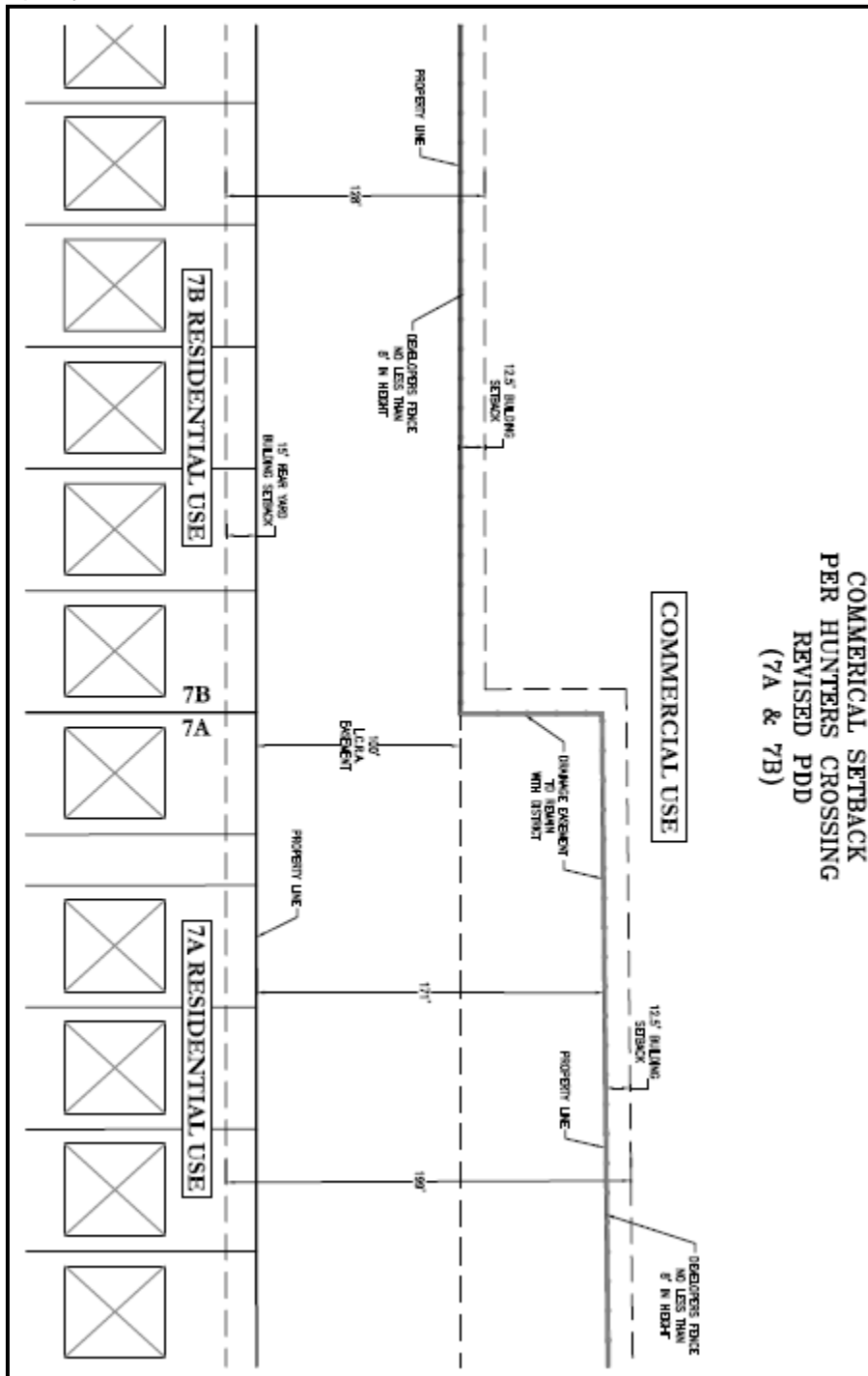


Illustration 305.1

The following uses are allowed by right in Hx-C

Residential Uses

Multifamily, Apartments and Condominiums (up to 25 units/acre)
Bed & Breakfast Inns

Recreation and Entertainment Uses

Amusement Arcade
Amusement Commercial (Indoor) – C*
Amusement Commercial (Outdoor) – C*
Day Camp for Children – C*
Golf Driving Range (Commercial) – C*
Health Club (Private)
Park or Playground (Private, noncommercial)
Roller or Ice Rink
Swim, Tennis or Handball Court
Theater, Cinema or Playhouse
Brew Pub

Educational, Institutional and Special Uses

Art Gallery or Museum
Assisted Living Facility
Childcare Facility within a Church
Childcare Facility / Day Care Facility
Church, Rectory or Temple
College or University
Community Center
Continuing Care Retirement Community
Convent or Monastery
Defensive Driving School
Driving School
Fraternal Organization, Lodge, Union Hall or Civic Club
Hospital (acute care and chronic care)
Institution of a Religious, Charitable or Philanthropic nature
Kindergarten or Nursery school (private)
Retirement Housing for the Elderly
Schools -Defensive Driving School, Driving School, Private elementary, Private Secondary, Business, Commercial Trade, Federally funded Preschool, Public or Parochial
Skilled Nursing Facility

Transportation Related Uses

Bus Station or Terminal – C*
Structured Parking Lot – C*
Tractor Sales, indoor sales only – C*

Automobile Related Uses

Auto Accessory Installation (minor)
Auto Financing and Leasing
Auto Glass, Seat Cover, Upholstery, and Muffler shop
Auto Car Wash
Auto Parts and Accessory Sales (indoor)
Auto Rental
Auto Repair, Major and Minor
Auto Service Station (with service bays and no convenience shopping) – C*
Boat Sales
Motorcycle Sales/Repair
New and Used Auto Sales (note used cars can only be sold in conjunction with a new-car dealership, no stand-alone used-car sales.
Tire Dealership

Office and Professional

Accountant or Bookkeeping Office
Architect's Office
Armed Services Recruiting
Brokerage Firm
Dental Clinic, Lab or Office
Financial Institutions, Automatic Teller Machines, and Drive-through Banking
Medical Clinic, Lab or Office
Minor Medical Emergency Clinic
Mortgage & Loan Agency (does not include pawn shop or bail bonding agency)
Offices, General Business and Professional
Optician or Optometrist
Real Estate Office

Retail Uses

Antique Shop (indoor sales only)
Appliance Sales and Rental
Art Supply
Automated Laundromat (not commercial laundry)
Bakery and Confectionery Shop (retail)
Barber Shop / Hair Salon
Book or Stationary Shop or Newsstand (no adult or X-rated content)
Cell phone / Pager sales (indoor)
Computer Sales
Consignment Store (no outdoor display)
Convenience Stores with Food & Beverage, Gasoline and (beer & wine sales if legally allowed by law)
Copy Shop
Coffee Shop

Custom Personal Service Shop (no modeling studios, or unregistered massage studios)
 Discount or Department Store
 Donut Shop
 Drapery, Needlework, or Weaving Shop
 Dry Cleaning & Laundry (retail)
 Drug Store or Pharmacy
 Florist Shop
 Food Store -
 Funeral Home or Mortuary – C*
 Furniture Store, Home and Office Furnishings and Appliances
 Handcraft Shop or Art Objects Sales
 Hardware Shop or Store
 Hobby Shop
 Household Appliance Service or Repair
 Ice Cream or Yogurt Sales
 Internet Cafe (Internet access rental)
 Key & Safe Shop
 Laundromat (self service)
 Medical Appliances, Fitting, Sales or Rental
 Off-Premise Sales Office
 Pet Shop and Grooming
 Restaurant - Indoor Dining, Outdoor Dining, Drive-through, Drive-in, Cafeteria
 Restaurant - Indoor dining only, no drive-through part of a retail center
 Restaurant/eating place (carry out service only)
 Retail Shops - Apparel, Gifts, Accessories and Similar Items
 Security Systems Installation Company
 Silk Screening Studio or Tee Shirt Shop
 Studio for Decorator, Artist or Photographer
 Studio for Health and Reducing or Similar Service
 Studio for Music, Dance or Drama
 Temporary Outdoor Retail Sales for Commercial *or Fundraising* promotion
 Tool and Light Equipment Rental (indoor only)
 Travel *Agent*, Bureau or Travel Consultant
 Trophy Sales and Engraving
 Vacuum Cleaner Sales and Repair
 Variety Store or Similar Retail Outlet
 Veterinarian Hospital or Office (indoor pens only)
 Wallpaper, Flooring & Carpet Sales

Commercial Type Uses

Ambulance Service – C*
 Commercial or Wholesale Bakery or Confectioner – C*
 Book Binding (over 10,000 s.f.)
 Clothing Manufacturer
 Drapery or Furniture Upholstery Shop
 Furniture Manufacturing or Reconditioning – C*
 Heating and Air-Conditioning Sales
 Hotels (no room limit)

Laboratory Equipment Manufacturing (indoor only) – C*
Laboratory, Scientific or Research – C*
Light Manufacturing and Assembly (indoor only) – C*
Lithograph and Print Shop
Maintenance and Repair Service for Buildings
Motels (no room limit) (see Motels/ Hotels less than 75 rooms below)
Motels/ Hotels (less than 75 rooms)
Office Showroom (no outdoor storage)
Office Warehouse (no outdoor storage)
Plumbing Shop (no outdoor storage)
Printing Company
Taxidermist – C*

Beer, Wine and Liquor Sales

Sale of wine and beer (with food sales more than 50% gross income)
Sale of hard liquor with permit (with food sales more than 50% gross income)
Package Liquor Sales
Beer & wine sales from grocery or convenience store

Industrial Uses

Light Manufacturing or Industrial Use (indoor only) – C*
Low Risk Industrial Manufacturing (indoor only) – C*
Mini Warehouse – C*

Accessory & Incidental Uses

Caretaker's or Guard's Residence
Swimming Pool (Private)
Tennis Courts, Public or Private (lighted or unlit)
Parking Lot or Structured Parking Lot

Utility, Service and Other Uses

Government Uses
Park and Ride
Antenna, Transmission for TV, Cellular, Radio, Microwave (Commercial)
Co-Generation Electric Plant
Electric Substation
Satellite Dishes (Commercial) (See screening requirements in Site Plan Section)
Local Utility Lines and Public Utility Easements
Municipal Buildings - Fire Station, Police Substation, Public Health
Telephone Business Office, Switching or Relay Station, Transmitting Station
Water Reservoir, Stand Pipe or Pumping Station
Water Treatment Plant
Sewage Pumping Station / Lift Station

* The "C" designation shown above means use allowed only with conditional use permits, obtained in accordance with City of Bastrop Code of Ordinances Section 33.

[Section 305.2 Reserved for future use]

Section 305.3 - Prohibited Uses

The following list of uses is prohibited in the Hunter's Crossing PD District.

Sexually Oriented Businesses, including but not limited to: Gentlemen's Clubs, Strip Clubs, Modeling Studios, Unlicensed Massage Parlors or Studios, Book or Magazine Stores that sell pornographic or sexually explicit printed materials or electronic media or sex objects.

Head shops or Stores that sell drug paraphernalia

Reproductive Services

Distillery or Distilling Operation, (however brew pubs are allowed)

Mobile Home Park or Trailer Park

Recreational Vehicle Park

Mobile Home Sales

RV Sales

Flea Market

Saloon, Cocktail Lounge, or Night Club (however brew pubs are allowed)

Hazardous Substance users or generators (see definitions)

Section 305.4 Streets

The following requirements apply to streets abutting or crossing the Hx-C district. Internal vehicular circulation across the major drainage channel and trail shall be accomplished by constructing public or private circulator streets.

(a) Commercial Streetscape – Thoroughfares

1. Street intersections shall be no closer than 1,200 feet
2. Access - No direct access to individual residential lots or minor commercial (less than 60,000 square feet) uses will be allowed from a thoroughfare. Commercial uses over 60,000 square feet of commercial building space and frontage over 200 linear feet may have one access drive and one service drive from each thoroughfare. Such drive shall be located no closer than 300 feet from an intersection or other drive. Lots platted along thoroughfares shall utilize access off of circulator streets or via joint access agreements.

3. Pedestrian – Curvilinear sidewalks between curb and building setback. Sidewalks leading from public walk to business entrance must be provided. (See illustration 300.4.1b above)
4. Landscape - Subdivision standard street landscaping shall include one large scale shade tree and three ornamental trees per 110', each side of street, with turf and meandering sidewalks. Landscaped beds shall be provided at all drives and intersections.

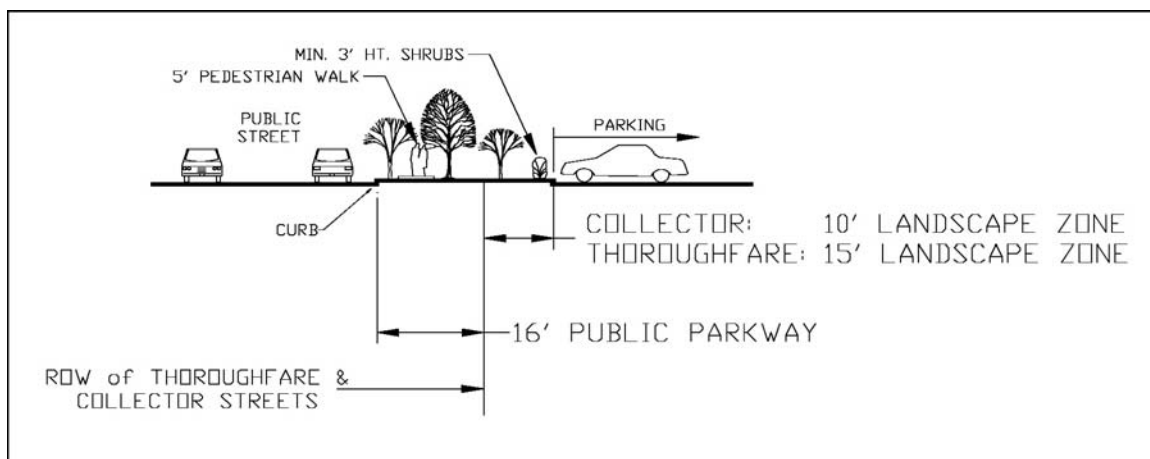


Illustration 305.4a

5. Fencing – No fencing is allowed between the back of curb of a public street and the property line or along the public ROW line outside of the exterior side yard building setback in the commercial areas of the Hx-C PD. Screening of dumpsters shall be 100% masonry. Masonry walls shall match the architecture of the building they serve. Dumpsters shall be located to the rear of the primary structure unless it can be demonstrated that service to rear areas is not attainable. Screening of service areas that can be viewed from public rights-of-way shall be screened by a solid wood, six foot high fence with stone columns located on 100 foot intervals and at ends and corners of the fence enclosure.
6. Miscellaneous structures - No structures shall be allowed between the back of curb of a public street and the property line or along the public ROW line. For sites that do not have a clear back side, accessory buildings shall be located where visibility from thoroughfares is minimal.
7. Signs - no signs of any kind are allowed between the back of curb of a public street and the property line.
8. Lighting - Street lighting shall be provided as per city code and the Bluebonnet Electric Cooperative, Inc., and site approved development plans.

(b) Commercial Streetscape – Collectors

1. Street intersections with collectors shall be no closer than 750 feet and shall extend existing streets (if applicable)
2. Access - No direct access to individual residential lots or minor commercial uses will be allowed from a collector. Commercial uses over 60,000 square feet of commercial building space and frontage over 200 linear feet may have one access drive and one service drive from each thoroughfare. Such drive shall be located no closer than 300 feet from an intersection or other drive. Lots platted along collectors shall utilize access off of circulator streets or via joint access agreements.
3. Pedestrian – curvilinear sidewalks between curb and building setback shall be provided. (see illustration 302.1b, Page 10) Sidewalks must lead from public walks to business entrances as required by the Texas Accessibility Act.
4. Landscape - Subdivision standard street landscaping shall include one large scale shade tree and three ornamental trees per 110' with turf and meandering sidewalks. Landscaped beds shall be provided at all drives and intersections
5. Fencing - No fencing is allowed between the back of curb of a public street and the property line or along the public ROW line outside of the exterior side yard building setback in the commercial areas of the Hx-C PD. Screening of dumpsters shall be 100% masonry. Masonry walls shall match the architecture of the building they serve. Dumpsters shall be located to the rear of the primary structure unless it can be demonstrated that service to rear areas is not attainable. Screening of service areas that can be viewed from public rights-of-way shall be screened by a solid wood, six foot high fence with stone columns located on 100 foot intervals and at ends and corners of the fence enclosure.
6. Miscellaneous structures - No structures shall be allowed between the back of curb of a public street and the property line or along the public ROW line. For sites that do not have a clear back side, accessory buildings shall be located where visibility from thoroughfares is minimal.
7. Signs - no signs of any kind are allowed between curb and property line.
8. Lighting - Street lighting shall be provided as per city code and the Bluebonnet Electric Cooperative, Inc., and site approved development plans.

(c) Commercial Streetscapes – Circulators, Shopping Street

1. Drives on commercial circulators shall be located no closer than 50 feet from an intersection or drive as measured from curb return. Commercial lots platted along collectors are required to utilize joint use access and parking agreements and are encouraged to utilize joint use service drives.

2. Street intersections with circulators shall be no closer than 240 feet and no longer than 1200 feet. A pedestrian trail running perpendicular to the street, bisecting the block, can be used between two streets to establish a new block length. Direct access to individual minor commercial uses is encouraged from circulator streets.
3. Vehicular and Pedestrian Interconnectivity – Circulators, public or private, are intended to provide vehicular and pedestrian routes between commercial development areas to minimize the need for patrons, shoppers, office workers or the general public to use public streets as a means of accessing one commercial establishment from another in the Hx-C area. To ensure interconnectivity, a circulator street shall cross the north-south drainage easement that bisects the two Hx-C zones in the northwest quadrant of Hunter’s Crossing PD.
4. Parking Shopping street circulators should be designed to encourage customers to park and walk between shops and stores. Streets should be designated as shopping streets for their entire length and designed with angled or parallel on street parking at the curb. They may utilize medians with similar parking. (See illustration 305.4c5) On street parking may be no closer than 20 feet to an intersection or drive. Parking lots on shopping streets shall be either to the side or rear of the primary structure. (See illustrations 305.4c4 and 305.4c6)

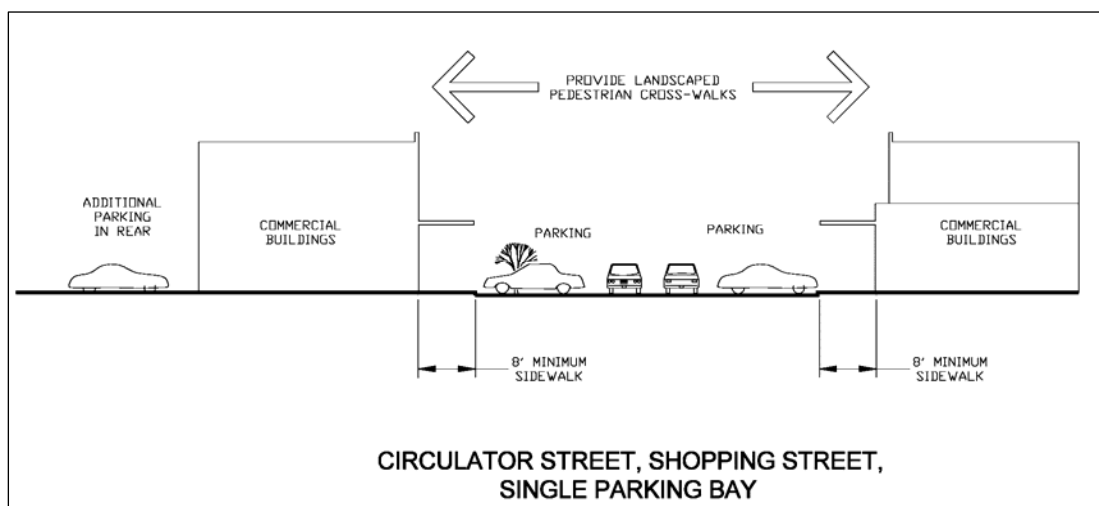


Illustration 305.4c4

5. Zero Lot Line Condition – Buildings adjacent to the Shopping Street Circulator may have common building walls along common property lines. Where buildings break, the required side yard setback shall be observed. Within the side yard, pedestrian walkways, patios, plazas and the like are encouraged. Additionally at the end of a grouping of buildings, vehicular driveways may occur. Nowhere within or at the end of a strip of contiguous buildings may a drive-through facility be installed. Uses that are not allowed within a contiguous strip of buildings are “fast-food” establishments and convenience stores. (See illustration 305.4c5)

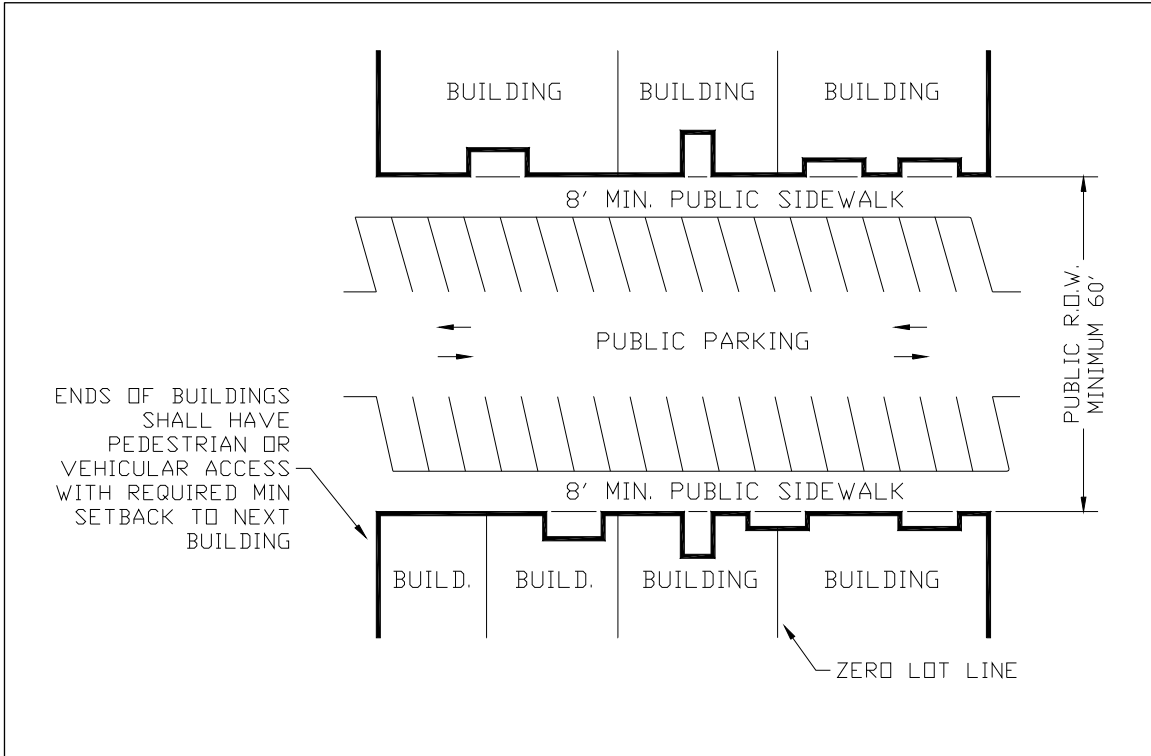


Illustration 305.4c5

- 6. Pedestrian – An 8-foot wide sidewalk should be provided at curb along these streets.

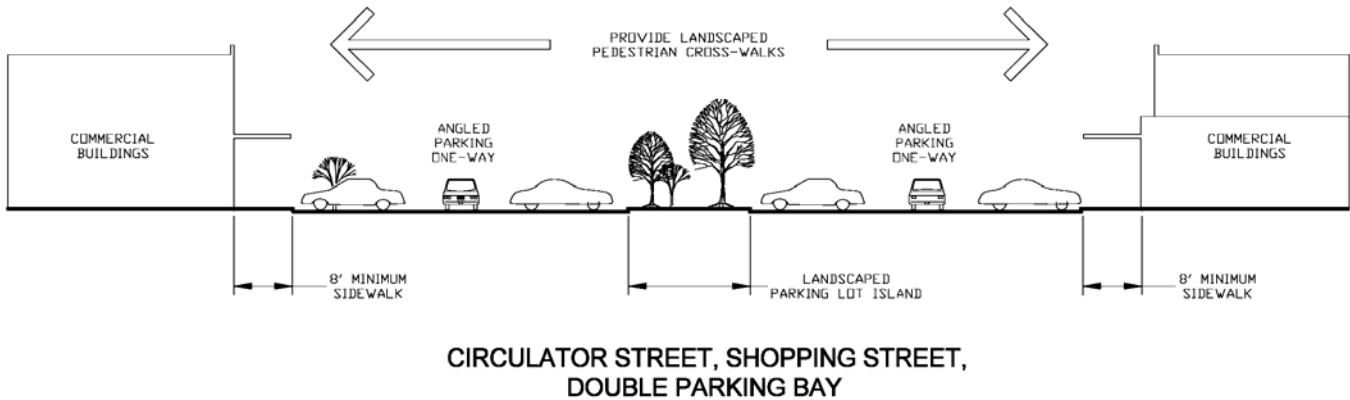


Illustration 305.4c6

- 7. No fencing is allowed between the back of curb of a public street and the property line or along the public ROW line outside of the exterior side yard building setback in the commercial areas of the Hx-C PD.

8. Miscellaneous structures - No accessory buildings shall be located between curb and property line. No outdoor display or storage areas shall be allowed within the front setback or in parking areas. To preserve accessibility, and safety no chairs tables or benches shall encroach into or along this area without specific approval of the City Planning Department. (However, alcoves, and setbacks, on lots, extending the sidewalk to accommodate on street sales and dining are encouraged.)
9. Signs - no signs of any kind are allowed between curb and property line except for approved sidewalk signs. (See lot standards signs)
10. Lighting - Street lighting shall be provided no taller than twelve feet as approved in site development plans. Lighting can be approved in awnings and porches overhanging sidewalks on a case by case basis but in no case may be lower than eight feet above the sidewalk.

(d) Commercial Streetscapes – Circulators - Standard

1. Circulators not designated for on street parking should have a landscaped median to slow and organize traffic.

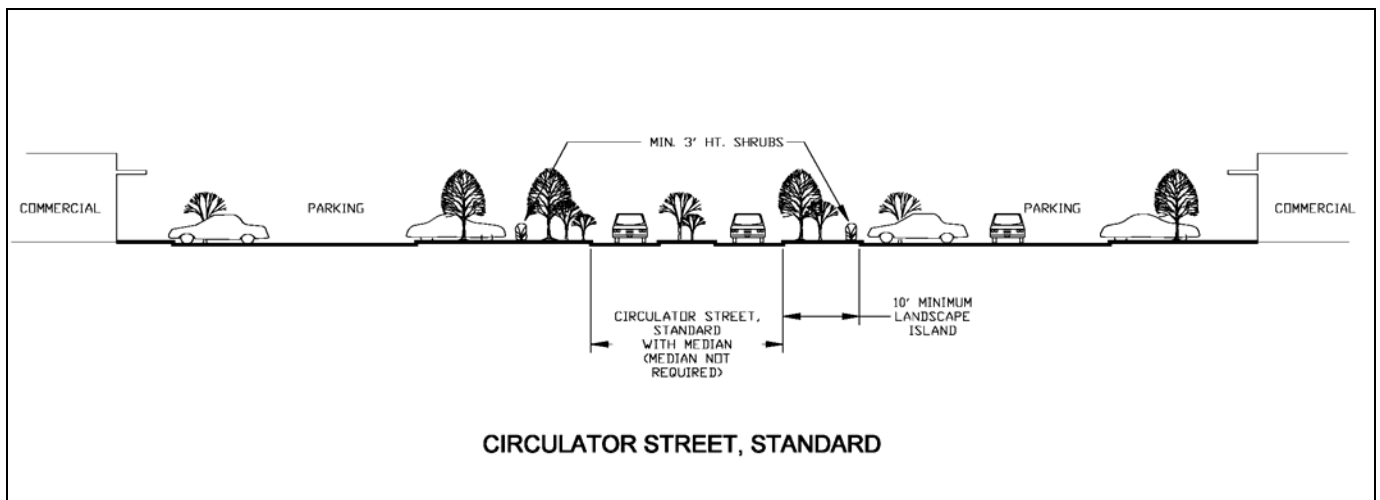


Illustration 305.4d

2. Vehicular and Pedestrian Interconnectivity – Circulators, public or private, are intended to provide vehicular and pedestrian routes between commercial development areas to minimize the need for patrons, shoppers, office workers or the general public to use public streets as a means of accessing one commercial establishment from another in the Hx-C area. To ensure interconnectivity, a circulator street shall cross the north-south drainage easement that bisects the two Hx-C zones in the northwest quadrant of Hunter’s Crossing PD
3. Access to buildings shall be through parking lots. Parking lots shall be built within the setbacks for buildings. Parking aisles shall not directly access streets but shall have a connecting entry/exit drive.

4. Pedestrian – curvilinear sidewalks between curb and building setback.
 5. Fencing - No fencing is allowed between the back of curb of a public street and the property line or along the public ROW line outside of the exterior side yard building setback in the commercial areas of the Hx-C PD.
 6. Miscellaneous structures - No structures shall be allowed between the back of curb of a public street and the property line or along the public ROW line.
 7. Signs - no signs of any kind are allowed between curb and property line.
 8. Lighting - Street lighting shall be provided as per city code and the Bluebonnet Electric Cooperative, Inc., and site approved development plans.
- (e) Service Drives - Service drives shall be accessed from internal circulator streets, and not from thoroughfares and collectors. Service drives and service areas shall contain all stopping, maneuvering and loading areas without blocking or encroaching onto streets, sidewalks, parking or landscape areas.

Section 305.5 Commercial Developments

Section 305.5.1 Lot Standards

- (a) Ground area coverage - 65%
- (b) Minimum/maximum Front Setbacks onto a:
- Commercial Thoroughfares – 30/90 feet ***
 - Commercial Collectors – 25/ 90 feet ***
 - Commercial circulators, shopping street – 20/ 90 feet ***
 - Commercial circulators, standard – 0/10 feet
 - Service Drives – no requirement
 - Adjacent commercial property – no requirement
 - Drainage and park features - 25 feet
- (c) Minimum/maximum Rear Setbacks onto a:
- Commercial Thoroughfares – not allowed
 - Commercial Collectors – not allowed
 - Commercial Circulators, shopping street – not allowed
 - Commercial Circulators, standard – not allowed
 - Service Drives – no requirement
 - Adjacent commercial property - 25 feet
 - Drainage and park features - 25 feet
- (d) Minimum/maximum Interior Side Yard Setbacks along a:

- Commercial Thoroughfares – 30/na feet
- Commercial Collectors – 10/ na feet ***
- Commercial circulators, shopping street – 0/10 feet ***
- Commercial circulators, standard – 10/90 feet ***
- Service Drives - 10/10 feet
- Drainage and park features – 25 feet

(e) Minimum/maximum Exterior Side Yard Setbacks on:

- Commercial Thoroughfares – 30/na feet
- Commercial Collectors – 25/na feet
- Commercial circulators shopping street – 5/na feet
- Commercial circulators – standard – 20/na feet

* All setbacks adjoining a residential lot shall be increased by 10 feet for a single story structure and 5 additional feet for every story thereafter.

** 50% of a required setback may include adjacent land within an LCRA transmission easement or right-of-way

*** For commercial uses larger than 60,000 s.f. in building area, maximum setbacks do not apply.

(f) Landscape

1. Street yards along thoroughfares shall have a 15 foot minimum landscape buffer from the property line (that is contiguous with the thoroughfare right-of-way) as a part of the building setback coordinated with street landscaping and sidewalks.
2. Street yards along standard circulators and collectors shall have 10 foot minimum landscape buffer from the property line as a part of the building setback coordinated with street landscaping and sidewalks.
3. Street yards along circulator shopping streets (when not zero lot line) shall be landscaped with flower and low shrubbery beds to minimize turf. Planters and decorative hardscape features may satisfy this requirement. Where setbacks are developed as public or semi-public spaces (courtyards, outdoor eating areas) ornamental trees shall be included. Decorative fencing visually permeable or walls less than three feet in height may define these spaces.

(g) Internal Fence and Screening – No perimeter fences shall be allowed in front yards or interior or exterior side yards. Except for the conditions as follow: Outside storage and dumpsters shall be located to the rear of the primary structure unless in can be demonstrated that service to the rear areas is not attainable. Screening of service areas and dumpsters is required screening and shall be architecturally compatible with the associated building. Screening shall be masonry or provided that subject

to City approval, such screening may utilize the standard development fence prescribed in the "fence detail" illustration 300.5e contained herein. Where a dumpster is located within a screened service area, positioned so that it is not visible from ordinary public view from any street, parking lot, trail, park property, such dumpster will not be required to have individual screening.

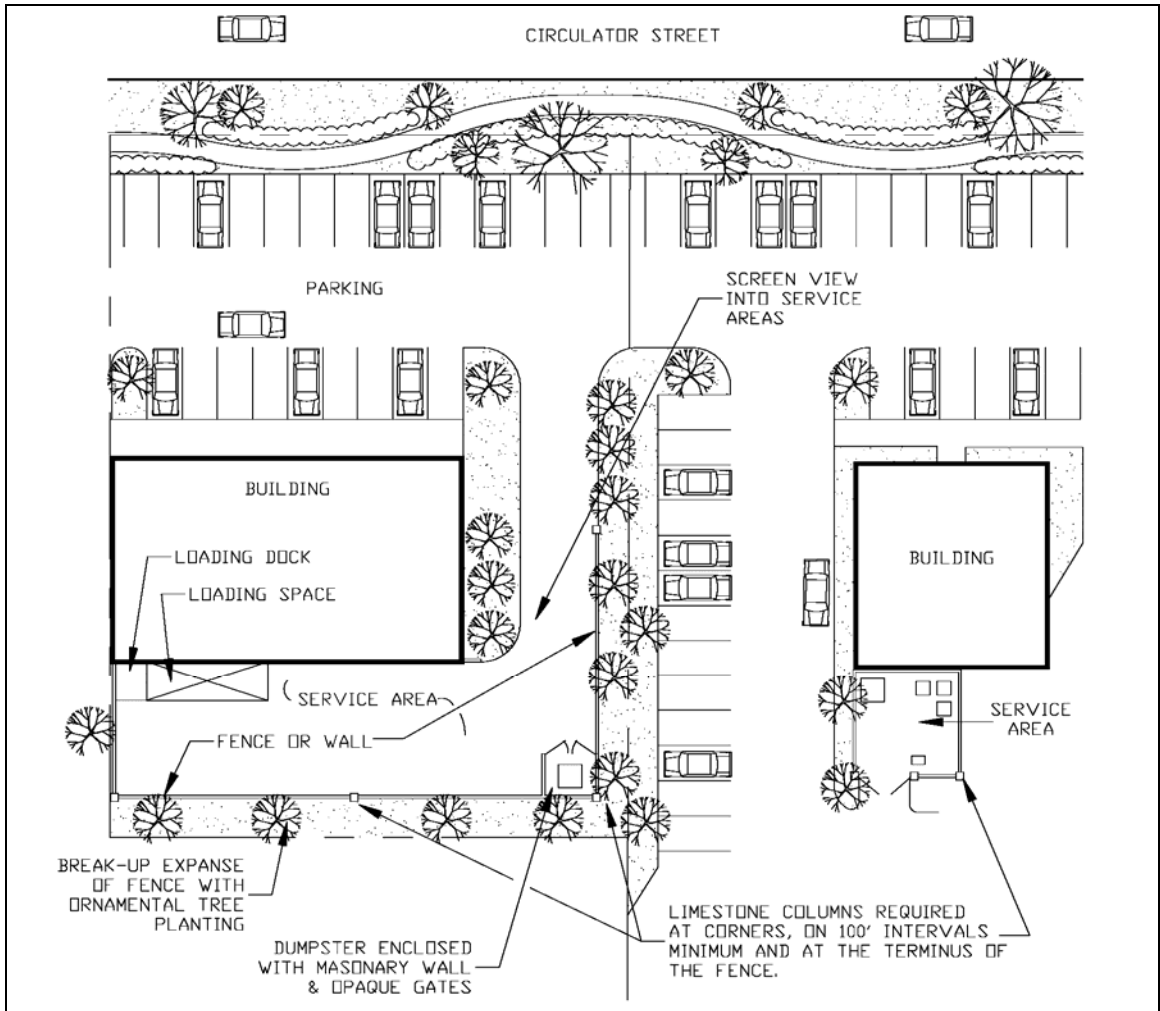
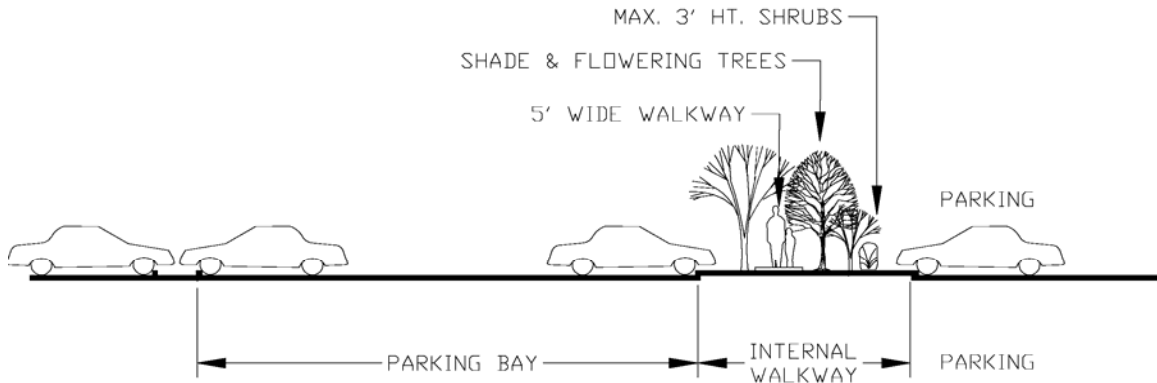


Illustration 305.5.1g

- (h) Internal walkways - Walks in commercial areas shall be a minimum of 5 feet wide. A system of walkways shall be provided through parking lots and between buildings according to the guidelines shown in the illustration below.



INTERNAL PARKING LOT WALKWAY

- (i) Miscellaneous structures - accessory structures shall be of like material and appearance as the primary structure and conform to building setbacks for the lot.

- No accessory buildings shall be located closer to the front than the rear most corner of a primary structure. For sites that do not have a clear back side, accessory buildings shall be located where visibility from thoroughfares is minimal
- No permanent outdoor display or storage areas shall be allowed within the front setback or in parking areas.
- Structures contributing to public amenity, aesthetics and organization of ancillary equipment or systems (such as grocery carts) are required. They shall be included in landscape plans along walkways, intersections, trail heads and parking lots.

- (j) Signs

1. Permitted signage:

- a. Street signs - Free standing signs in the street yard of a property. No supports may be over 5x5 (in plain view) in dimension and no base including landscape shall exceed 3 feet in height. Sign faces may be internally lit on multi-tenant, pole or monument signs. External or shadow box lighting is the only permissible illumination of sidewalk signs.

b. Multiple tenancy pylon signs - A sign with pole, column or like supports; mounted with no portion closer than 10 feet to the property line, public ROW or the outside of any drive measured at the nearest curb return (allowed in landscaped medians on a case by case basis). Multiple tenancy pylon signs shall only be allowed on property zoned Hx-C at the intersections of circulator streets with thoroughfares, at the intersections of thoroughfares with collectors, and the intersections of two thoroughfares. Sign faces shall advertise only the name or logo of establishments, in compliance with g. (below), on lots that have direct access to the circulator, collector or thoroughfare street on which the sign is located. Businesses with over 60,000 square feet may have individual sign faces of up to 200 square feet. 250 additional square feet of sign face may be divided between other businesses along that street but no more than 50 square feet per business. Multiple tenancy pylon signs may have sign faces no higher than 35 feet, however, decorative architectural attachments such as roofs may be permitted to 40'.

c. Multiple tenancy directory signs - A monument sign not to exceed 8-feet in height is permitted at the intersections of circulators with collectors and thoroughfares to advertise only businesses, in compliance with g. (below), located along such circulators and adjacent corner lots. Businesses may have signage on both the joint tenancy pylon and joint tenancy directory sign,

d. Individual pole sign – A two faced sign with pole, column or like supports mounted perpendicular to the street with no portion closer than 10 feet to the property line or any drive measured at the nearest curb return. The sign face must be no lower than 9 feet above grade and no single face larger than 150 square feet.

e. Monument sign - A one or two faced sign no taller than 6 feet and a maximum single sign face of 40 square feet mounted parallel or perpendicular to the street, located with no portion closer than 10 feet to the property line or any drive measured at the nearest curb return.

f Sidewalk signs - Two faced signs suspended over sidewalks perpendicular to street with a minimum clearance of 8 feet from sidewalk. No sign shall be over 10 square feet or extend to within 3 feet of the inside of curb.

g. Lots along the following streets shall conform to these sign standards:

- Commercial Thoroughfares - One individual pole sign (35 feet in height) if not on a multiple tenancy pylon sign.
- Commercial Collectors - One individual pole sign (25 feet in height) if not on a multiple tenancy pylon sign.
- Commercial circulators shopping street - One sidewalk sign
- Commercial circulators - standard - One monument sign if all businesses are not on a multiple tenancy pylon sign.

- Service Drives - n/a

h. Building signs - Signs attached to any portion of a primary or secondary structure and free standing signs intended for directional or service delivery purposes. See prohibited signs below.

- Sign orientation - All building signs shall be mounted parallel with the building facade unless approved in a site development plan.
- Buildings over 60,000 square feet shall be allowed a total of 200 square feet of sign face for their name or logo on a facade facing a front street yard and an additional 100 square feet (total of all facades) of sign face for other signage (drug store, fuel and oil etc.)
- Buildings less than 60,000 square feet shall have total sign faces permitted at a rate of one square foot of signage per linear feet of street yard frontage.
- Neon or lit trim is allowed up to 50 linear feet per establishment (including window signs).
- A total of 100 square feet of freestanding sign face used for service and directions (drive-through menus, ATM's) may be allowed as approved in a site development plan.
- Decorative or art signs are permitted only on a case by case basis if they contribute significantly to the aesthetic qualities of the streetscape.

2. Prohibited signs:

a. Bill boards - no billboards shall be erected in the Hx-C either as street signs or building signs.

b. No signs are allowed on fences or accessory buildings except as approved in a site development plan.

c. No signs shall be allowed on roofs or above parapet walls,

d. No internally lit panels, awnings or canopies carrying logos are permitted unless included in the sign face computation.

e. No moving, message, inflatable or novelty signs are allowed.

f. No banners, flags, portable signs, yard signs or signs on vehicles of any kind are allowed within the Hx-C district.

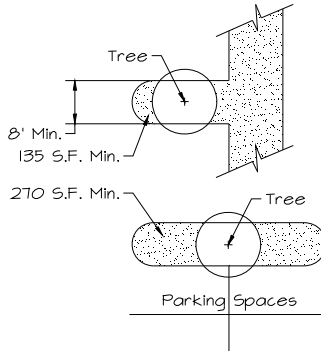
g. No product names or logos are permitted in windows or on equipment recognizable from the street. Equipment such as gas pumps is included in the freestanding sign face under building signs.

(k) Lighting - All exterior lighting shall conform to the City of Bastrop Code and standards set forth in development restrictions. All businesses shall dim or turn off all lit signs after business hours. All exterior lights shall be

operated at ½ of operational levels after hours if intensities are beyond the code's standard, site average illumination.

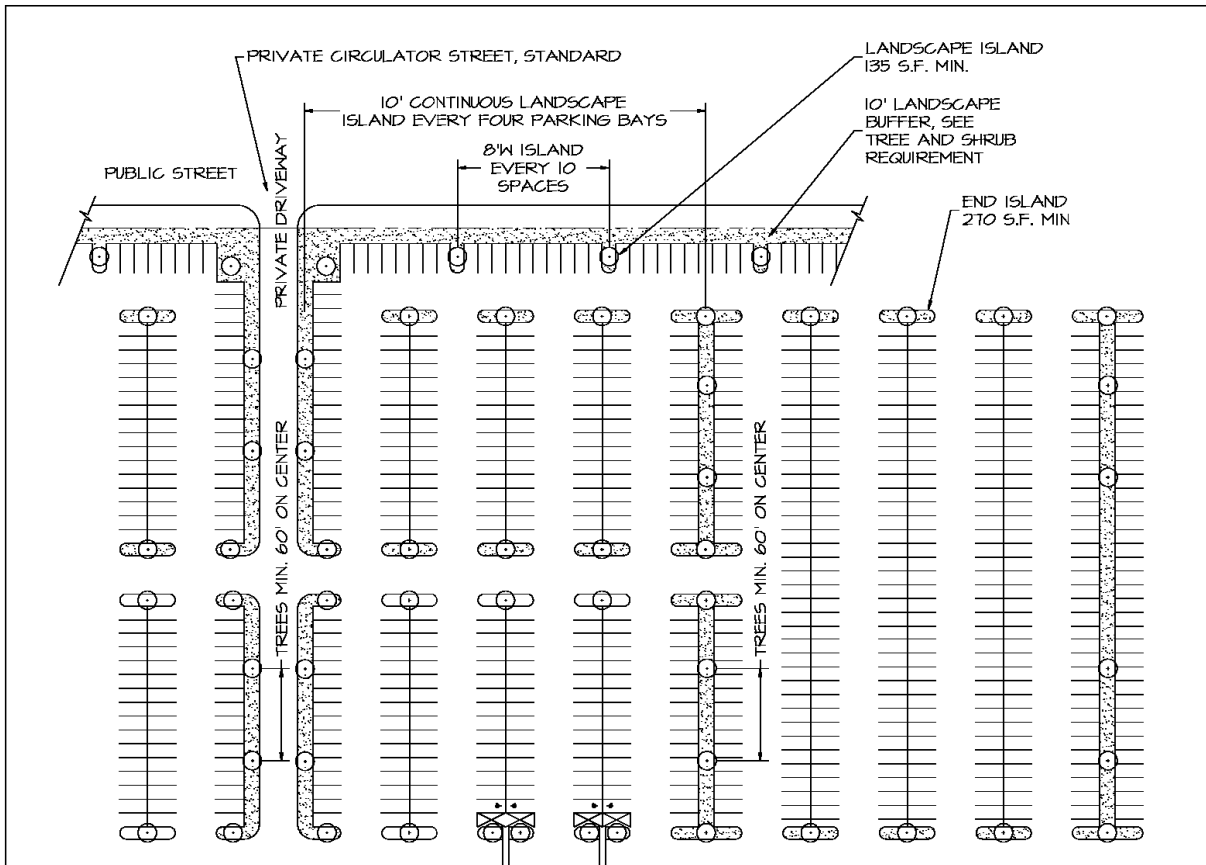
- (l) Parking - Parking lots with 90 degree parking shall be accessed from circulator streets via entry/exit drives. Under no circumstance shall parking aisles be accessed directly from any street. Landscape for parking lots shall be be the same as for buildings fronting thoroughfares, collectors or standard circulator streets plus:

- 1) Shade trees shall be planted at the end of all parking rows



- 2) Every parking space shall be within 60 feet of a large shade tree, or

- a) Linear landscaped islands, no less than ten feet wide, with landscaped beds and shade trees every 60 feet shall be provided every fourth row of a major parking lot as alternative compliance, to be approved by the Director of Planning. Approval is based on the evaluation of use, traffic flows and overall project design. Walkways are encouraged within the linear islands to facilitate pedestrian movement. (See Large Parking Lot - Landscape Option below)



LARGE PARKING LOT - LANDSCAPE OPTION

Section 305.6 Building

- a) Ground area coverage - 65%.
- b) Height - maximum 3 stories or 36', parapet walls permitted up to 4' above roof.
- c) Roof pitches of 2:12 are not classed as slope roofs and shall require a parapet.
- d) All commercial buildings over two stories shall have fully automatic sprinkler systems for fire protection in accordance with NFPA -13 (National Fire Protection Association). Multifamily structures three stories and over shall be required to provide the automatic fire sprinkler systems.
- e) Building facades that can be viewed from public spaces (i.e. Streets, parking lots, parks and trails, shall have a similar level of finish and fenestration as the front and sides.

f) Materials

- 100% masonry veneer,
- Limit of 50% for concrete fiber board,
- Tilt wall construction limited to big box and strip center projects,
- No mirrored, reflective or extremely dark window tints,
- CMU Block that is exposed is limited to fractured face or integral color architectural block. Common CMU block must have a stucco or masonry veneer. Painted common block is not allowed, and
- Alternative materials and design may be approved by the Director of Planning in accordance with guidelines set forth in Chapter 14, Section 37.1 of the City of Bastrop Code of Ordinances.

Section 306.0 Hx-SD – A Special district tract that is located at the NW Corner of Hunter’s Crossing Blvd and Hunter’s Point Drive.

The Hx-SD is a ± 1.01 acre tract that has been identified by the developer as a tract available to the City for use as a future fire station, or alternatively, by the developer for a child care center, subject to the grant and terms of a conditional use permit. Accordingly, if the tract located in Hx-SD is not used as a fire station, the property may be used as a small day-care facility, to be limited in enrollment, parking and scope.

Any future use of Hx-SD tract must be processed pursuant to City of Bastrop Code of Ordinances regarding the City’s standard zoning processes/procedures.

APPENDIX



Illustration A-1

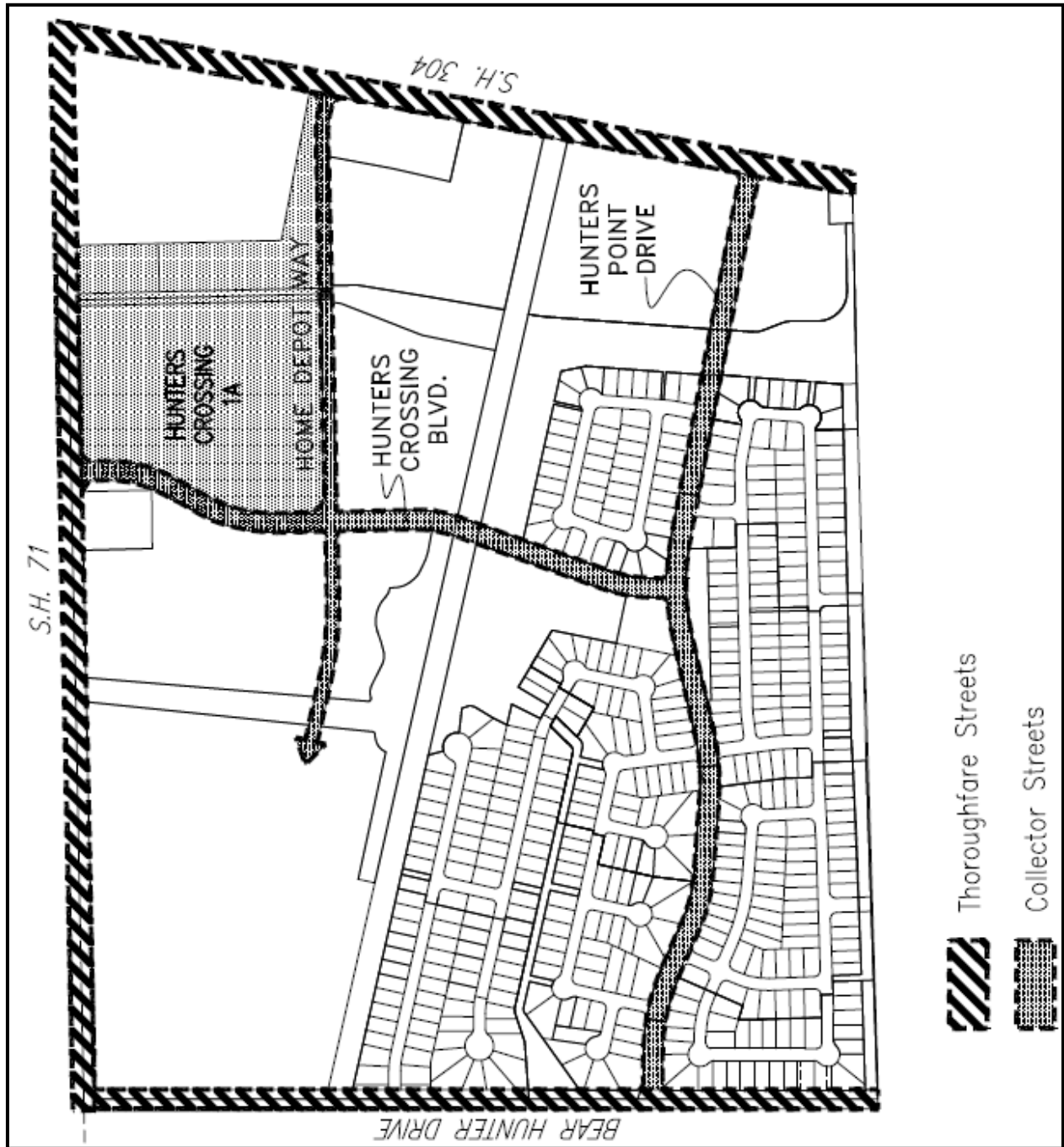


Illustration A-3

All streets not shown in illustration as either Thoroughfare or Collector are Circulator Streets.

HUNTER'S CROSSING - PUBLIC PARK/OPEN SPACE PLAN

(See Exhibit 'H' for complete park boundary and Exhibit 'I' for park amenity detail.)

The following uses are planned within the park boundaries:

1. Storm Water Detention facility
 - a. Softball Field
 - b. Soccer Field
 - c. Wet Pond and Fishing Pier
 - d. ADA Ramp to the Fishing Pier
2. Improved Trails
3. Group Pavilion with Shaded Picnic Tables
4. Playscape Area
5. Half Basketball Court
6. 30 Car Parking Lot
7. Public Restrooms
8. Pocket Park Landscaping and Bench Seating

See Exhibit 'H' for acreage information on Park Land uses.

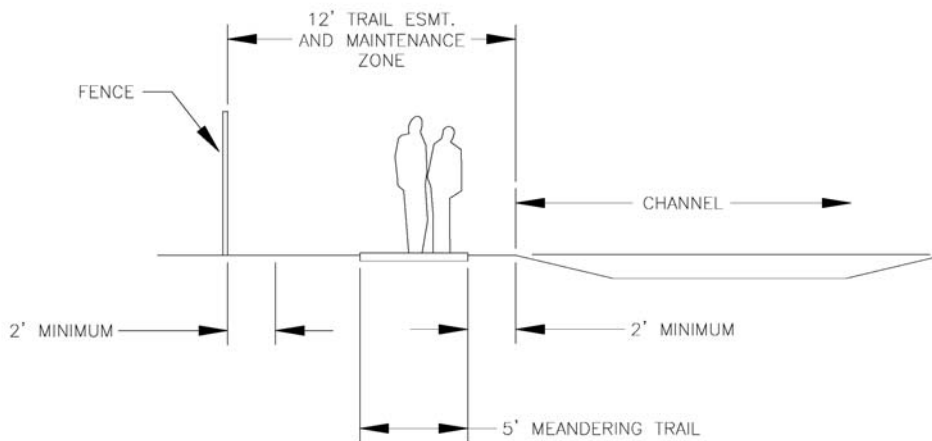
Recreational Areas

A softball field and a soccer field will be constructed, with trickle channels directing low flows and more constant flows around the sports fields. A ramping trail system will be installed for ADA access to the ball fields.

A wet pond will be constructed in the bottom of the storm water detention facility as a further amenity to the development. Along with the pond, a fishing pier will be installed to give park users clear access to the wet pond.

Improved Trails

A system of trails is proposed around the storm water detention facility, within the neighborhood development, and within the LCRA, power-line easement. The trails will link single-family, multifamily, and commercial development providing pedestrian access to the parks, retail, and homes, and ultimately the City of Bastrop's overall hike and bike trail system. (See Exhibit 'H'). The trail will meander within a 12' wide strip of land adjacent to the drainage easement. (See the 'trail section' below)



TRAIL SECTION

Timeframe: Trails will be installed as adjacent property is under construction.

Group Pavilion

A group pavilion is proposed near the playscape area and parking lot. The pavilion will cover a minimum of four picnic tables, and have trash containers for accommodating larger groups. Close proximity to the parking area allows for easy unloading of food from vehicles to the pavilion.

Pocket Park Landscaping with Bench Seating:

A ± 1 acre pocket park located on the south side of Hunter's Point Drive, across from the intersection with Hunter's Crossing Blvd. will contain native landscaping and a seating area adjacent to the trail system.

Installation of the landscaping and bench seating shall be completed in concurrence with Section 7B construction.

Basketball Half Court

A half basketball court and goal will be constructed adjacent to the group pavilion.

Playscape Areas

A minimum of one playscape for 2-5 year olds and one playscape for 5-12 year olds will be provided. The playscapes will have the required safety surfaces and containment curbs. A minimum of one swing set will be provided and a minimum of one handicap swing seat will be provided, as well. At least three free-standing play apparatuses will be provided.

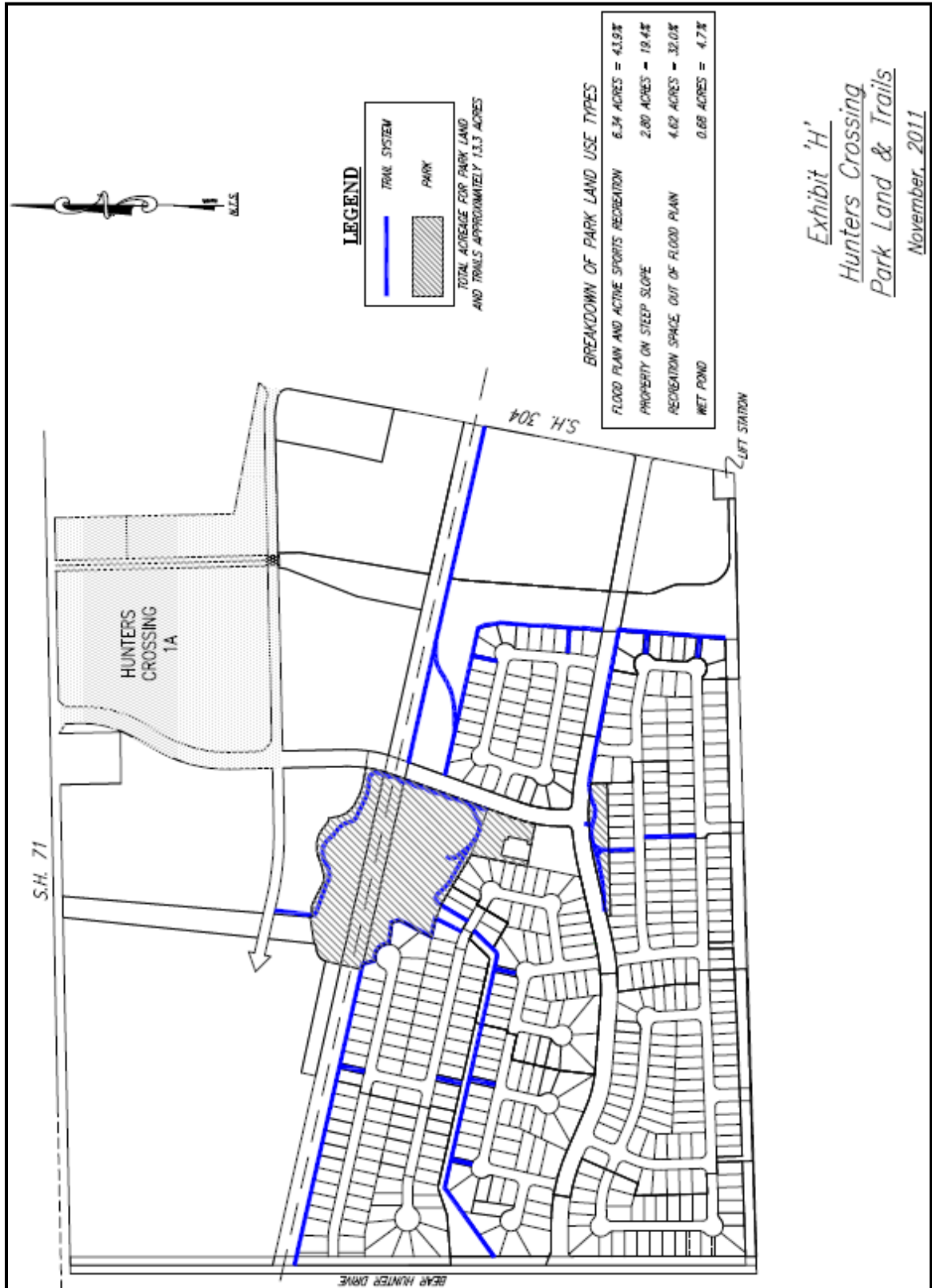


Exhibit 'H'
Hunters Crossing
Park Land & Trails
November, 2011

Exhibit H

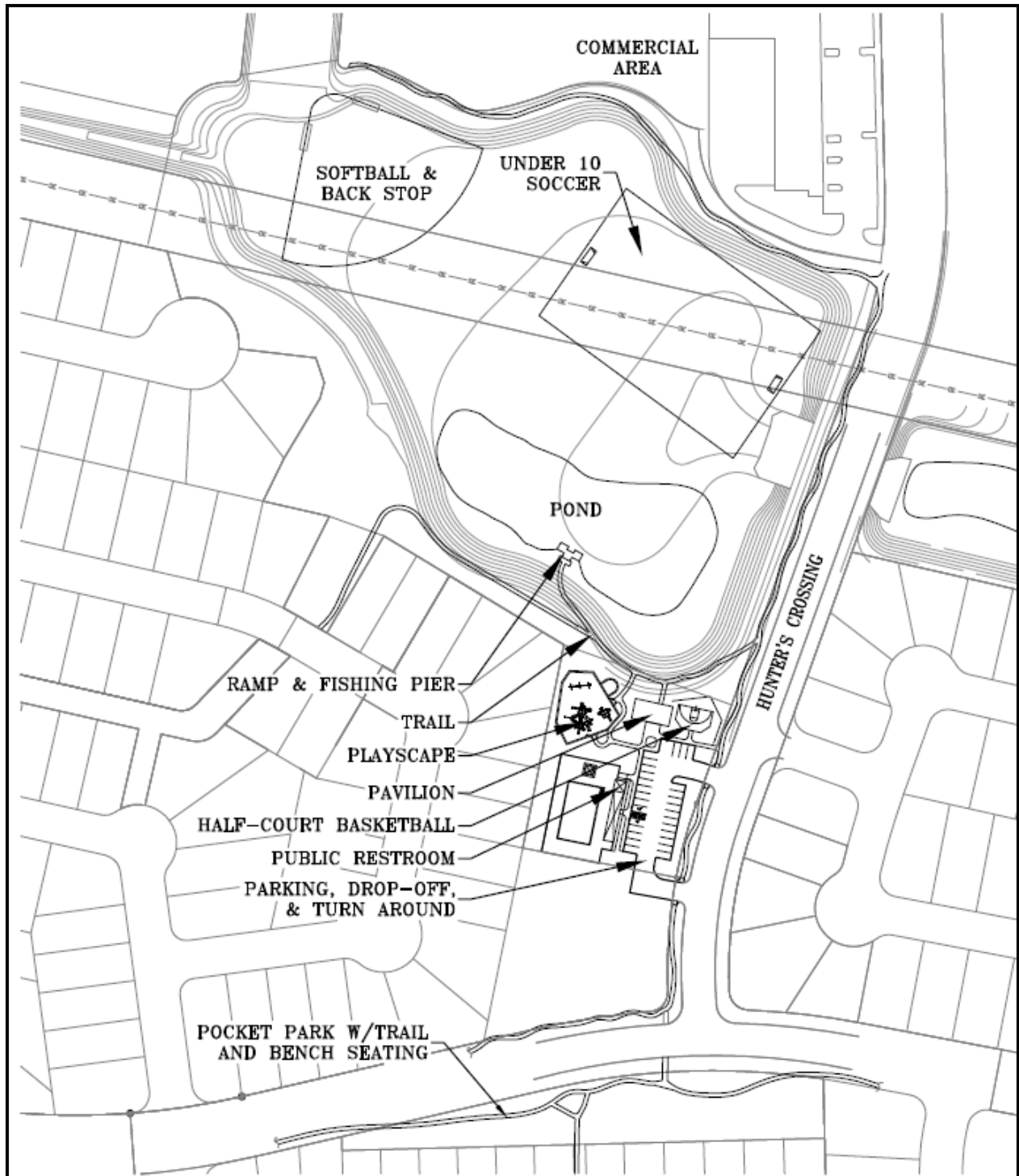


Exhibit I

NOTICE OF PUBLIC HEARINGS

X

PROPERTY OWNER'S RESPONSE

As a property owner within 200': (please check one)

- I am in favor the request.
- I am opposed to the request.

Property Owner Name: Billy Lesley Lingo
 Property Address: 314 Bird Dog Bend
 Mailing Address: same

Phone (optional): _____
 Email (optional): _____

Property Owner's Signature: Lesley Lingo
 Comments: _____

Please provide reply to: The Planning and Development Department
 City of Bastrop, P.O. Box 427, Bastrop, Texas 78602
 or via fax (512) 332-8849 Phone: (512) 332-8840

Re: Hunters Crossing Planned Development and Master Plan Amendment

RECEIVED
 OCT 27 2011
 BY: _____

As a property owner within 200': (please check one)

- I am in favor the request.
- I am opposed to the request.

CITY OF BASTROP
 PLANNING DEPT.
 P.O. Box 427
 BASTROP, TX 78602

U.S. POSTAGE PRIORITY MAIL
 ZIP 78602 \$0.00:44⁰
 02 1W
 0001383817 OCT. 20 2011

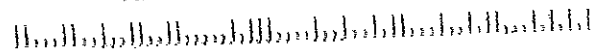
RECEIVED
 OCT 24 2011
 BY: _____

Grange Jr.- LN, John W.
 304 Antelope Trail
 Bastrop, TX 78602

FORWARD X 787 N7E 1 7101 00 10/22/11
 TIME EXP RTN TO SEND
 GRANGE
 3137 W UECKERT RD
 BELLVILLE TX 77418-5566

RETURN TO SENDER

78602950297



X

PROPERTY OWNER'S RESPONSE

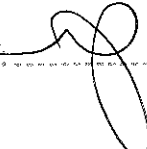
As a property owner within 200': (please check one)

- I am in favor the request.
- I am opposed to the request.

Property Owner Name: SINGLETON/Southwell Co.
 Property Address: 201 HUNTERS CROSSING BLVD. Phone (optional): 512-321-1283
 Mailing Address: 132 RIVERWALK LN. Email (optional): hiffesing@ACL.com
BASTROP, TX 78602
 Property Owner's Signature: Raleigh A Singleton
 Comments:

Please provide reply to: The Planning and Development Department
 City of Bastrop, P.O. Box 427, Bastrop, Texas 78602
 or via fax (512) 332-8849 Phone: (512) 332-8840

Re: Hunters Crossing Planned Development and Master Plan Amendment


RECEIVED
 OCT 25 2011
 BY: 


As a property owner within 200': (please check one)

- I am in favor the request.
- I am opposed to the request.

Property Owner Name:

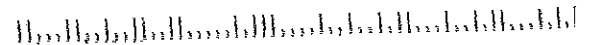
CITY OF BASTROP
 PLANNING DEPT.
 P.O. BOX 427
 BASTROP, TX 78602

U.S. POSTAGE

 ZIP 78602 \$0
 02 111
 0001363617 00

RECEIVED
 OCT 24 2011
 BY: 

Carthorne, Luther
 4915 Single Shot Circle

787 N7E 1 9111 00 10/2
 RETURN TO SENDER
 CARTHORNE
 MOVED LEFT NO ADDRESS
 UNABLE TO FORWARD
 RETURN TO SENDER
 BC: 78602042727 *2610-04299-2



16
X

PROPERTY OWNER'S RESPONSE

As a property owner within 200': (please check one)

- I am in favor the request.
 I am opposed to the request.

Property Owner Name: Julie Torres (Stauffer)
Property Address: 114 Outfitter Phone (optional): _____
Mailing Address: 1105 Farm St. Email (optional): _____

Property Owner's Signature: Julie Torres
Comments: _____

Please provide reply to: The Planning and Development Department
City of Bastrop, P.O. Box 427, Bastrop, Texas 78602
or via fax (512) 332-8849 Phone: (512) 332-8840

Re: Hunters Crossing Planned Development and Master Plan Amendment

RECEIVED
OCT 25 2011

BY _____
